

CANCELLED

**CITY OF SURPRISE
PLANNING AND ZONING COMMISSION AGENDA
TUESDAY, OCTOBER 3, 2006 AT 7:00 PM
SURPRISE CITY HALL
12425 WEST BELL ROAD, SUITE D100
SURPRISE, AZ 85374**

The regularly scheduled meeting for October 3, 2006 has been **CANCELLED**.

The next meeting is scheduled for October 4, 2006.

Scott Chesney, Director
Planning and Community Development

CITY OF SURPRISE
PLANNING AND ZONING COMMISSION AGENDA
WEDNESDAY, OCTOBER 4, 2006 AT 6:00 PM
Northwest Regional Library
16089 North Bullard Avenue
Surprise, AZ 85374

CALL TO ORDER

- A. Roll Call
- B. Pledge of Allegiance
- C. Approval of items on the **Consent** Agenda – all items with an asterisk (*) are considered to be routine matters and will be enacted by one motion and one roll call vote to the Planning and Zoning Commission. There will be no separate discussion on these items unless a Commissioner requests; in which event, the item will be removed from the consent agenda and considered in its normal sequence on the agenda.

ITEM	ITEM DESCRIPTION	STAFF RECOMMENDATION
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CURRENT EVENTS REPORT

1	PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT REPORT	NO ACTION
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CONSENT AGENDA:

2*	SP06-180 – CONSIDERATION AND ACTION – ARIZONA TRADITIONS NEIGHBORHOOD CENTER: REVIEW REQUEST TO APPROVE A SITE PLAN FOR ARIZONA TRADITIONS NEIGHBORHOOD CENTER LOCATED ON THE NORTHEAST CORNER OF NORTH JAVELINA DRIVE AND WEST WEATHERBY DRIVE.	APPROVE PLANNER: ADAM COPELAND
3*	SPA06-130 – CONSIDERATION AND ACTION – WADDELL SQUARE SHOPPING CENTER: REVIEW REQUEST TO APPROVE A SITE PLAN AMENDMENT FOR A NEIGHBORHOOD SHOPPING CENTER AT THE NORTHWEST CORNER OF WADDELL AND REEMS ROAD.	APPROVE PLANNER: NICOLE GREEN-CATTEN

REGULAR AGENDA ITEMS REQUIRING A PUBLIC HEARING:

4	GPA06-340 – DISCUSSION ONLY – MAJOR AMENDMENT: REVIEW A REQUEST FOR A MAJOR AMENDMENT TO THE SURPRISE GENERAL PLAN 2020.	NO ACTION DISCUSSION ONLY PLANNER: JANICE SEE
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OPEN CALL TO PUBLIC:

CALL TO THE PUBLIC

Note: During this time members of the public may address the Commission on any item not on the agenda. At the conclusion of the open call, Commissioners may respond to criticism, may ask staff to review the matter or may ask that the matter be put on a future agenda. No discussion or action shall take place on any item raised.

CURRENT EVENTS REPORT

CHAIRPERSON AND COMMISSIONERS

CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION:

Pursuant to A.R.S. § 38-431.03(A)(3), the Planning and Zoning Commission may go into executive session with the City Attorney for legal advice on any item listed on the agenda.

ADJOURNMENT:

Scott Chesney, Director
Planning and Community Development

REPORT TO THE PLANNING AND ZONING COMMISSION

CASE NUMBER: SP06-180 (Arizona Traditions Neighborhood Center)
STIPULATIONS: a through i
PREPARED BY: Adam Copeland, Planner @ 623.875.4320
Adam.copeland@surpriseaz.com

Application Date: September 7, 2006
Planning & Zoning Commission Hearing Date: October 4, 2006

APPLICANT:

CCBG Architects, Inc
102 E. Buchanan St
Phoenix, AZ . 85004
602 258-2211
602-255-0909 fax
rserrano@ccbg-arch.com

PROPERTY OWNER:

Surprise Village North LLC of DR Horton
16430 N. Scottsdale Rd. #200
Scottsdale, AZ . 85254
Attn: John Lockett
480 368-2283
480-368-1088 fax
jlockett@drhorton.com

REQUEST:

Approval of a Site Plan for a project known as Arizona Traditions Neighborhood Center

SITE LOCATION:

The subject site is located on the northeast corner of N. Javelina Drive and W. Weatherby Drive within Arizona Traditions Parcel 14.

SITE SIZE:

The subject site is 1.42 gross acres.

RECOMMENDATION:

Staff recommends that this request, a Site Plan for Arizona Traditions Neighborhood Center (SP06-180) located on the northeast corner of N. Javelina Drive and W. Weatherby Drive within Arizona Traditions Parcel 14, be **approved** subject to stipulations **a through i**.

PROJECT ANALYSIS:

The subject request is for a 2800 S.F Neighborhood Center to be used for clubhouse space consisting of card rooms, a fitness room, small kitchen, swimming pool, and recreational bocce ball courts.

The site is located internal to the Arizona Traditions Parcel 14 community and includes adequate pedestrian and vehicular connections. Also, there is opportunity for Golf Cart parking in the areas listed as "compact" on the site plan.

PROJECT IN CONTEXT:

The subject property is surrounded by Sun City Grand to the north, Bell Point I & II to the west, earlier phases of Arizona Traditions to the east, and Surprise Farms to the south. The Beardsley Canal runs along side the east portion of Arizona Traditions Parcel 14 and the McMicken Dam runs along the northwest portion.

PEDESTRIAN/CART BRIDGE:

The agreement for the pedestrian/golf cart bridge over the Beardsley Canal as presented in Parcel 14 Final Plat of Arizona Traditions, will be subject to the approval of the developer, the Arizona Traditions Homeowners Association and the Maricopa County Municipal Water Conservation District No. 1 and will be finally executed by December 31st, 2006.

The subject bridge will link Arizona Traditions and promote shared amenities. Residents from the eastern portion of Arizona Traditions Development will be able to walk or ride a golf cart to the proposed Neighborhood Center in Parcel 14. Residents from Parcel 14 would also be able to walk and ride to amenities east of the development.

The applicant will need to set up a voting session with the Home Owners Association of Arizona Traditions prior to November 15th, 2006 and provide the City of Surprise with the results signed by the Arizona Traditions Home Owners Association. If the Home Owners Association vote "no" on the Pedestrian/Cart Bridge, the bridge will not be required to be constructed.

CIRCULATION:

Primary access to the site will be from West Skyline Drive to the north and West Weatherby Drive to the south.

ARCHITECTURE:

The architecture of the building will compliment the surrounding area and blend in with the design of the community as homes are constructed. The building is oriented northeast and southwest to avoid excessive heat generation from the sun, as well as provide a sense of entry to the site with the building angled towards the southern entry.

LANDSCAPING

Landscaping will be provided around the perimeter of the project as well as internal to the site. At the time of Landscape Plan review, all species of tree and plant size will comply with the Planning and Zoning Design Guidelines Manual.

ITEM 2

Along the eastern portion of the site, the landscape will act as a shield to automobile headlights shining into homes to the west of the site.

The retention area will separate onsite activities substantially from the homes to the east including perimeter vegetation.

LIGHTING

All lights will be completely screened. All foot candles will be at 0 along the residential property lines eliminating any light pollution on residential lots.

COMMUNITY MEETING

The Home Owners Association and approximately 70 residents from Arizona Traditions had a meeting with the applicant on November 29, 2005. The applicant stated that all of the residents' questions and concerns were answered and the community was in support of the project.

EXISTING AND SURROUNDING ZONING:

ON-SITE:	PAD-Arizona Traditions
NORTH:	PAD-Arizona Traditions
EAST:	PAD-Arizona Traditions
SOUTH:	PAD-Arizona Traditions
WEST:	PAD-Arizona Traditions

EXISTING AND SURROUNDING LAND USE:

ON-SITE:	Recreation
NORTH:	Single Family Residential
EAST:	Single Family Residential
SOUTH:	Single Family Residential
WEST:	Single Family Residential

EXISTING UTILITIES AND SERVICES STATUS:

WATER	Arizona American Water
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SEWER	City of Surprise
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FIRE PROTECTION	Surprise Fire Department currently has stations located:
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FIRE STATION 301	16750 North Village Drive East
FIRE STATION 302	18600 North Reems Road
FIRE STATION 303	15440 North Cotton Lane
FIRE STATION 304	22443 North 163 rd Avenue

ITEM 2

POLICE PROTECTION:

Surprise Police Department currently has stations located:

14312 West Tierra Buena Lane
18600 North Reems Road

ULTIMATE STREET BUILD-OUT

Street Name	Right-of-Way	Pavement Width	Landscaping	# of Lanes in each direction	Sidewalks
N. Javelina	36 feet	24 feet	Sides	1 lanes	5' both sides
W. Skyline Dr.	36 feet	24 feet	Sides	1 lanes	5' both sides
W. Weatherby.	36 feet	24 feet	Sides	1 lanes	5' both sides

DEPARTMENTAL REVIEW:

All departments involved in the subject review have recommended the project to move forward subject to all stipulations.

COMMENTING JURISDICTIONS

ADOT- See attached letter.

COMPARISON TO THE ZONING ORDINANCE

Standard	Required	Provided
Parking	28	44
Building height	35' Max	21'-4"
ADA Parking	1	2
Residential setback	45'	south 70', east 85', north 185', west 115'

EXISTING SITE CONDITIONS

The site currently is undeveloped.

PHASING

Constructed in one phase.

ITEM 2

STANDARD STIPULATIONS:

- a) Development shall be in accordance with the Site Plans date-stamped September 7, 2006, unless otherwise stated herein;
- b) Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- c) Major changes to this Site Plan with regards to use and intensity must be processed as a revised application with approval by the Planning and Zoning Commission. Minor changes may be administratively approved by the Planning and Community Development Director, Water Services Director, City Engineer, and Fire Marshal;
- d) The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to building plan submittal;
- e) Applicant or property owner must provide the City with approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits;
- f) Approval of this site plan is not to be construed as an approval of any violation of the current adopted Surprise Municipal Code at the time of submission;
- h) All landscaping, hardscape and wall details shall be submitted for separate landscape plan review and approval by the Planning and Community Development Director prior to issuance of a building permit;
- i) All roof mounted and ground mounted mechanical equipment shall be screened from public view and will be subject to the approval of the Planning and Community Development Director.





Janet Napolitano
Governor

Victor M. Mendez
Director

Arizona Department of Transportation

Intermodal Transportation Division
206 South Seventeenth Avenue Phoenix, Arizona 85007-3211

RECEIVED
JUN 15 2006
Sam Eilers
State Engineer
COMMUNITY DEVELOPMENT

June 12, 2006

City of Surprise Planning Department
12425 West Bell Road Suite D100
Surprise, Arizona 85374
C/o Ms. Debbie White

RE: AZ Traditions Neighborhood Center/SP06-180/ Union Hills & Javelina

Dear Ms. White:

Thank you for your notification regarding the Site Plat for the subject referenced above. After a complete review, we have concurred that the proposed Plat at this time will have no impact on our highway facilities in this area. **ADOT does want to review and comment on the FINAL PLAT.**

ADOT does reserve the right to review and comment any further development plans, changes and or additions for this site, as to any impact they may have on the State Highway System.

Should you have any questions, you may contact me at 602-712-8755 or by fax at 602-712-3051, or in writing at 205 S. 17th Avenue, Right of Way Project Management Section, Suite 349 MD 612E, Phoenix, Arizona 85007. Thank you in advance for your cooperation.

Sincerely,

LOUIS J. MALLOQUE,
Right of Way Agent III
lmalloque@azdot.gov



2001 Award Recipient

Written Narrative

Arizona Traditions - Parcel 14 Neighborhood Community Center

City of Surprise, Arizona

Request by Surprise Village North L.L.C. (owner)

This narrative, along with attached drawings, describes our request for site planning approval by city council for development of a 1.4 acre site in Parcel 14 of Arizona Traditions for use as an active adult amenity building known as the Neighborhood Center. Initial Pre Application Meeting comments have been addressed in the attached drawings. The building sits on a 61,903 sf. lot zoned PAD.

When vehicular access through Arizona Traditions to Parcel 14 was denied by city council, it created a situation where members of the Arizona Traditions Homeowners Association living in Parcel 14 are forced to drive out through the adjacent residential community, out onto Bell Road and back in through the main gates to use and benefit from the lifestyle amenities in Arizona Traditions. To diminish this traffic and inconvenience it is beneficial and appropriate to include some amenities in Parcel 14.

With full disclosure to the existing residents and the Homeowners Association, an amenity package as submitted is proposed. This amenity package includes a small multipurpose neighborhood community center 2,800 sf., a small resort style pool, four Bocce Ball courts with (3) open ramadas, and approximately 42 parking spaces. The neighborhood community center will include a small fitness room, a small kitchen and a meeting/social room that can be separated into two rooms for things such as card playing, meeting rooms, social events and minor craft or hobby uses. Additionally there will be restrooms and some storage space to go along with the resort style pool.

Leading up to the approval of the Final Plat for Parcel 14 there was much discussion and homeowner education and input on the effect of potential amenities in Parcel 14. This process included numerous open Town Hall Meetings, community and committee discussion and city staff and city council review and discussion. On November 16, 2005 the developer submitted a written request for the Arizona Traditions Board of Directors to review and comment on the proposed amenities. This matter was addressed at the November 05 Town Hall and BOD Meeting. This resulted in a subsequent committee/community meeting on November 29, 2005 where the plans were reviewed in great detail. The attendees, who included some board of director's members, some BOD committee members, some HOA staff and management members along with representatives of the developer came up with numerous suggestions and request which were subsequently included in the plans.

City approved infrastructure is currently being installed in the rights-of-way to support this building and nearly 235 surrounding homes. The Neighborhood Center building is completely surround by single-family detached homes and no other commercial development is planned for Parcel 14. Although other portions of Parcel 14 are developed in phases, this application for the Neighborhood Center building will not be phased. AAW Will Serve Letter to be delivered to city staff separately.

The financial effect of additional amenities with regard to operating and reserve cost is negligible. Approximate monthly Operating Cost is projected to be less than \$1.40 per resident and approximate monthly Reserve Cost is projected to be less than \$0.60 per resident. While not all residents will agree with these amenities, we feel this package is what fits best for this parcel and yet maintains low cost accommodating amenities to the overall community.

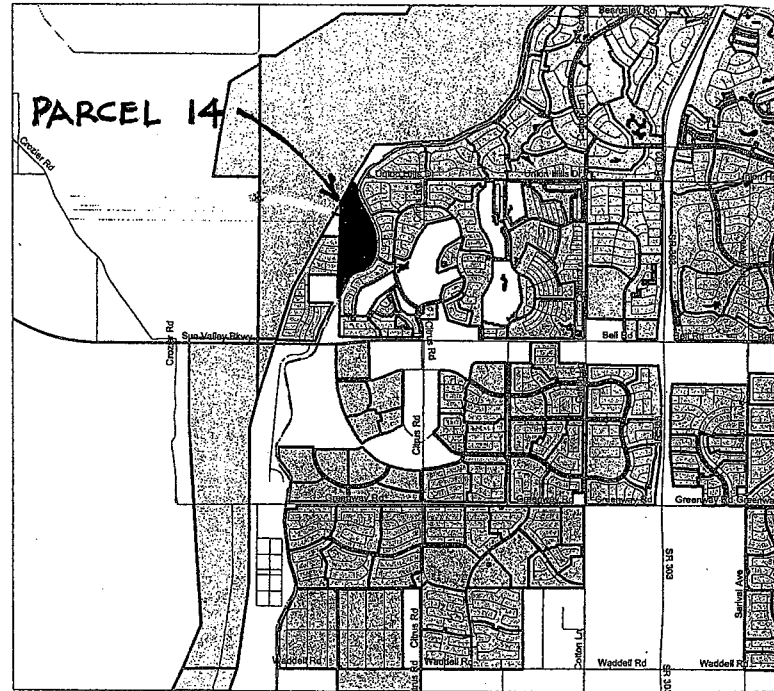
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SEP 07 2006
COMMUNITY DEVELOPMENT

C C B G

Architects, Inc.

SP06-180

AZ TRADITIONS PARCEL 14
NEIGHBORHOOD CENTER.



VICINITY MAP

NORTH



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COMMUNITY DEVELOPMENT

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LANDSCAPE LEGEND

TREES	SPECIES	SIZE/QT
ULMUS PARVIFOLIA	CHINESE EVERGREEN ELM	3" CAL./1
QUERCUS VARIANNA	LIVE OAK	2.5" CAL./7
ACACIA SALICINA	WILLOW ACACIA	2.5" CAL./28
PHOENIX DACTYLOFLORA	DATE PALM	18", 16" W
OLEA EUROPAEA	"SWAN HILL"	U.O.M.
SHRUBS	SPECIES	SIZE/QT
CESALPYNIA PULCHERRIMA	RED BIRD OF PARADISE	5 GAL./16
NANDINA DOMESTICA	HEAVENLY BAMBOO	5 GAL./2
TECOHA STANS	ARIZONA YELLOW BELLS	15 GAL./5
PHILLENBEGIA CAPILLARIS	REGAL POST OLEA GRASS	5 GAL./17
CHAMPEDON ARBORESCENS	MED. FAN PALM	15 GAL./3
SERENA AZULINISOIDES	FEATHERY CASSIA	5 GAL./23
LEUCOPHYLLUM REVOLUTUM	"SIERRA MAGIC" SAGE	5 GAL./25
PERJUM OLEANDER	"petite pink"	5 GAL./15
PETITE PINK OLEANDER		5 GAL./16
RUELLIA PENNEULARIS	DESERT RUELLIA	15 GAL./3
YUCCA BICOLORATA	PERGOLUS YUCCA	15 GAL./8
PHOENIX ROSELLINI	PISTACHIO PALM	15 GAL./39
XYLOSMA CONGESTUM	XYLOSMA	5 GAL./35
RUELLIA BUTTONTIA "KATIE"	KATIE RUELLIA	5 GAL./43
AGAVE WEIBERI	SMOOTH EGGED AGAVE	5 GAL./53
HOSPITALIS PARVIFLORA	RED YUCCA	15 GAL./9
ROSA BANKSIAE	LADY BANKS ROSE "YELLOW"	5 GAL./50
VERBENA RIGIDA	SAVEDPAPER VERBENA	5 GAL./68
CONVOLVULUS CHERIDUM	BUSH MORNING GLORY	5 GAL./57
LANTANA - GOLD/PURPLE LANTANA	"SPREADING SUNSET" 50 16-50	5 GAL./10
WEDELIA TRILOBATA	WEDELIA YELLOW DOT	5 GAL./10
SURFACE MATERIALS		SIZE/QT
DECOMPOSED GRANITE - 2" DEPTH		3/4"
SIERRA GOLD "POWER"		SCREENED
OR APPROVED EQUAL		
TURF - CYNODON DACTYLON -		13,825 SQFT
HYBRID BEAMUDA "MIDIRON"		500

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az traditions, parcel 14
surprise, az

u r b a n . g r a p h i t e

landscape architecture • site planning 7121 west 4th avenue suite 100, phoenix 85021 480.779.3314 480.990.0794 real@urbangraphite.com

55-165

9-33-06

CW

DE

NORTH

land

L1.1

LANDSCAPE PLAN



NORTHEAST ELEVATION
1/8" = 1'-0"

04



SOUTH EAST ELEVATION
1/8" = 1'-0"

03



SOUTHWEST ELEVATION
1/8" = 1'-0"

02



NORTH WEST ELEVATION
1/8" = 1'-0"

01

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MAY 05 2006
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CCBG Architects, Inc.

102 E. Buchanan St. Phoenix, Arizona 85004
phone: 602.258.2211 fax: 602.255.0909



**AZ Traditions Parcel 14
Neighborhood Center**

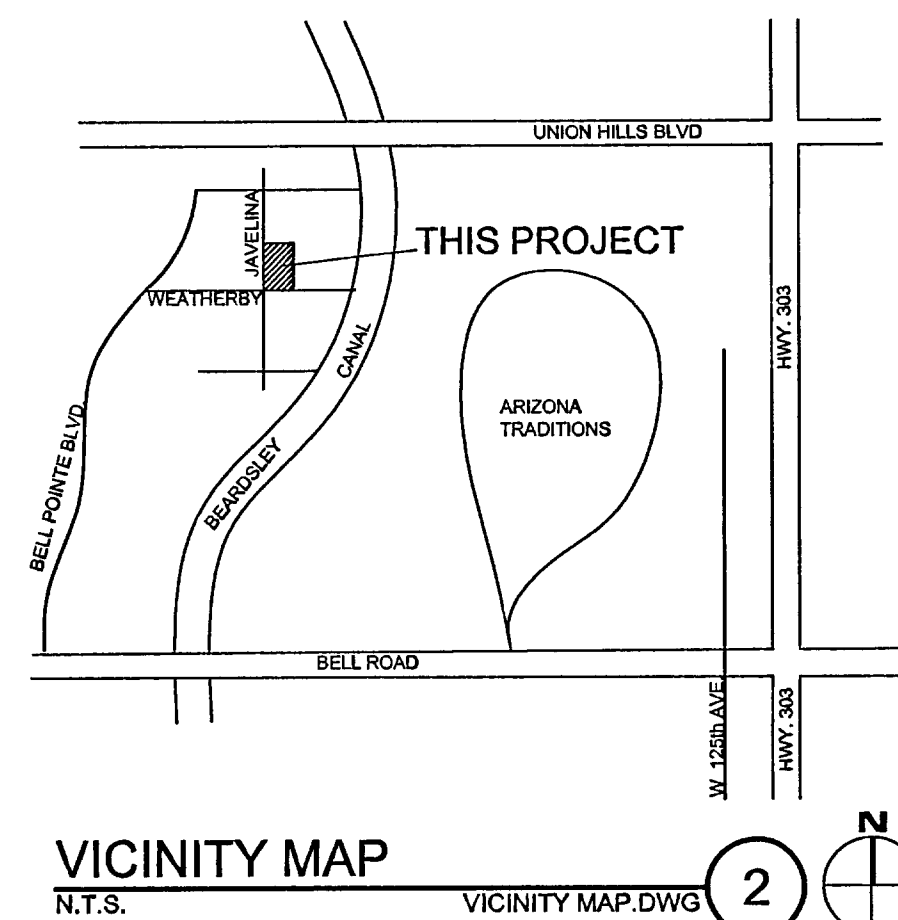
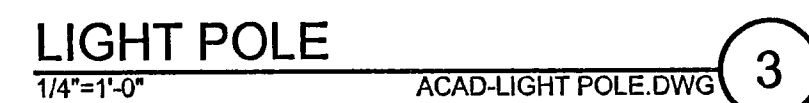
Surprise, AZ

Revisions

Date
MAY 4, 2006
Drawn
SS/RS
Checked
RS
Job Number
0524
Drawing

SITE PLAN
Sheet

PA06-0025



BUILDING CODES:	2003 IBC 2003 IMC 2003 IEC W/ 2002 NEC 1994 UPC W/ AZ STATE AMENDMENTS 2003 IFC
PROJECT NAME:	NEIGHBORHOOD CENTER AT PARCEL 14 OF AZ TRADITIONS
PROJECT LOCATION:	PRIVATE STREETS. ADDRESS TBD. NEC WEATHERBY DR. & JAVELINA DR.
NET SITE AREA :	+/- 61, 903(1.42 AC)
PROPOSED BUILDING AREA (GROSS):	2,800 S.F. LIVABLE 890 S.F. COVERED PATIO 1,980 S.F. RAMADAS 189 S.F. FUTURE SHADE CANOPIES 5,850 S.F
TOTAL AREA	
LOT COVERAGE (BUILDING):	5,850 S.F./ 61,903= 9.5%
LOT COVERAGE (BUILDING AND PARKING):	20,370 S.F / 61,903= 33%
LANDSCAPE AREA:	30,459 sf. (49%)
ZONING :	PAD
PROPOSED USE:	ACTIVE ADULT AMENITY CENTER WITH (2) CONFERENCE ROOMS AND (1) SMALL FITNESS ROOM
OCCUPANCY:	A-3
CONSTRUCTION TYPE :	V-B
PARKING REQUIRED: 1:200	5670 S.F / 200= 28 SPACES
PARKING PROVIDED:	44 SPACES
EMPLOYEE PARKING:	0
COMPACT SPACES:	11 (25% OF TOTAL)
ACCESSIBLE PARKING REQD	1
ACCESSIBLE PARKING PROVIDED	2

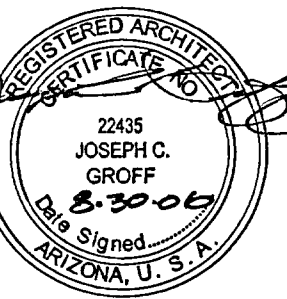
OWNER:	Surprise Village North LLC, 16430 N. SCOTTSDALE RD # 200 SCOTTSDALE 85254 ATTN: JOHN LOCKETT 480-383-0006
ARCHITECT:	OCBG ARCHITECTS 102 E BUCHANAN ST, PHOENIX AZ, 85004 PH:602.258.2211 ATTN: RICK SERRANO
ENGINEER:	JMI ASSOCIATES 8590 E. SHEA BLVD. SCOTTSDALE 85060

NOTE:
 "ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE."

-
- The site plan illustrates a residential development bounded by W. Skyline Drive to the north and W. Weatherby Drive to the south. The property is divided into several distinct areas:
- Neighborhood Center:** A central building with a "FIN. FLR. 35.30" and a "FLAGPOLE" location.
 - Ramada:** A large rectangular structure with a "7' x 52'" footprint.
 - Bocce Ball Courts:** Four courts labeled 1, 2, 3, and 4.
 - Pool and Spa:** A swimming pool with a "SPA" and a "SHOWER" area. A "5' POOL BARRIER BY SEPARATE PERMIT" and "POOL/SPA BY SEPARATE PERMIT" are noted.
 - Parking and Access:** Multiple "COMPACT" parking areas, a "BRICK PAVERS" area, and a "FUTURE SHADE CANOPY BY SEPARATE PERMIT". A "FIRE APPARATUS ACCESS ROAD" is shown with a "10' RADIUS" and "20' RADIUS" for visibility triangles.
 - Other Features:** A "RETAINING WALL", "RETENTION. SEE CIVIL", "5' SCREEN WALL", "5' SCREEN WALL (TRASH ENCLOSURE)", "FIRE RISER ROOM", "CATCH BASIN & UNDERGROUND DRAINAGE PIPE", "BIKE RACKS", "TYP. U.N.O.", "INDICATES ACCESSIBLE ROUTE", "LANDSCAPE HEDGE ON 1' BERM FOR PARKING SCREENING", "4' CONC. SIDEWALK", "FACE OF CURB", "GUTTER", "MONUMENT SIGN BY SEPARATE PERMIT", "H.C. RAMP", "PRIVATE STREET", "FIRE APPARATUS ACCESS ROAD", "N. JAVELINA DRIVE", "N. 89 47 42' W", "N 89 57 58' W", "N 80 27 02' E", "N 100 02 02' E", "N 88 26 00' N", "130.45'".
- The plan is labeled with "ZONING: RESIDENTIAL" and "ZONING: PAD". The lot numbers 860 through 867 are visible along the boundaries.

SCALE: 1"=20'-0"

102 E. Buchanan St. Phoenix, Arizona 85004
phone: 602.258.2211 fax: 602.255.0909



Surprise, AZ

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Revisions _____

PA06-0025 SP06-180

Date
 AUGUST 28, 2006
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 RS
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Job Number
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Drawing
 SITE PLAN

Sheet

A1.0

REPORT TO THE PLANNING AND ZONING COMMISSION

CASE NUMBER: SPA06-130 **Waddell Square Shopping Center**
STIPULATIONS: a-j
PREPARED BY: Nicole Green-Catten, Planner @ 623.875.4344

Application Date: April 7, 2006
Planning & Zoning Commission Hearing Date October 4, 2006
City Council Hearing Date: N/A

PROJECT OVERVIEW**APPLICANT:**

Jonathan Stern
George Rainhart Architects & Associates
2325 San Pedro NE #2B
Albuquerque, NM 87110

PROPERTY OWNER:

Douglas Peterson Properties
2325 San Pedro NE #2A
Albuquerque, NM 87110

REQUEST:

Approval of a site plan amendment proposal for a neighborhood shopping center at the northwest corner of Waddell Road and Reems Road.

SITE LOCATION:

Northwest corner of Waddell Road and Reems Road

SITE SIZE:

8.21 Gross Acres

RECOMMENDATION:

Staff recommends that this request, a site plan revision for Waddell Square (SPA06-130), located on the northwest corner of Waddell Road and Reems Road, be **approved**, subject to stipulations **a through j**.

PROJECT ANALYSIS:

This application, SPA06-130, is a request for site plan amendment approval for a shopping center at the northwest corner of Waddell and Reems Road. The purpose of this request is to revise the existing approved site plan for Waddell Square to accommodate 357,685 square feet of neighborhood commercial buildings. Previously, the approved site plan featured a major retail pad at 55,835 square feet, 2 restaurants totaling 7200 square feet and 2 minor retail pads totaling 10,800 square feet. The new site plan proposes a bank at 5313 square feet, a daycare center at 10,565 square feet, 2 restaurants, totaling 5600 square feet square feet, and retail shops totaling 163,726 square feet.

ITEM 3

Staff feels that the proposed site plan has a better opportunity of providing better neighborhood commercial services and amenities. As a result, the addition of the daycare center and bank are possible due to the reduction of the major retail pad. The commercial subdivision for this site plan (CS06-238) will be heard at the October 12, 2006 Council Meeting.

ARCHITECTURE:

The Waddell Square Shopping Center reflects a contemporary approach to Spanish Mission architecture. Its form, color and detail will match that of the motifs found on the existing Walgreen's Drugstore and recently approved Wells Fargo Bank. Both of which, sit prominently at the northwest corner of Reems and Waddell Roads.

The building design is comprised of an exterior finish system that resembles stucco and is accented with split-face concrete block at the base. Insulated glass is used in the storefront system which reduces glare and heat gain. The roof profile is a combined use of stucco parapets and clay tile roofing. Details are incorporated into the design by the use of lattice motifs on the exterior walls and a distinct pediment pattern that is repeated throughout the shopping center.

The developer has worked diligently with staff to ensure that "fast food 2" drive-thru window was kept away from the perimeter walls adjacent to residential lots. In addition, the daycare center building entrance was rotated to encourage safer pedestrian and vehicular drop off areas for building patrons as well as enhancing the view for those entering the site from Reems Road.

CIRCULATION:

Vehicular Access to the proposed site is possible by way of Waddell Road and Reems Road. Pedestrian circulation is facilitated on site through the use of paved pedestrian paths and sidewalks. These pathways will integrate with the existing Walgreens, the future Wells Fargo Bank and the adjacent neighborhood sidewalks.

LANDSCAPE:

The preliminary landscape plan has been submitted and includes a large variety of vegetation and several different types of shrubs and trees. Perimeter walls adjacent to residential will be heavily landscaped to screen the rear of shops 1 and 2, the daycare center and the bank.

EXISTING AND SURROUNDING ZONING:

ON-SITE:	C-2
NORTH:	R1-5
SOUTH:	Maricopa County
EAST:	Cotton Gin PAD (C-2 Designation)
WEST :	R1-5

EXISTING AND SURROUNDING LAND USE:

ON-SITE:	Vacant/ Neighborhood Commercial
NORTH:	Residential
SOUTH:	Vacant Land
EAST:	Vacant Commercial Land
WEST:	Residential

SPA06-130 Waddell Square Shopping Center

ITEM 3

PROJECT DATA:

Zoning	C-2 (General Commercial)
Building Area	Gross 56,428 S. F.
Site Area	8.21 AC.
Site Coverage	76.1%
Parking Coverage	60 %
Landscape Coverage	23.9%
Parking Required 324 Spaces	Provided 236 Spaces
Construction Type	5B

EXISTING UTILITIES AND SERVICES STATUS:

WATER Arizona American

SEWER City of Surprise

FIRE PROTECTION Surprise Fire Department currently has stations located:

FIRE STATION 301 16750 North Village Drive East

FIRE STATION 302 18600 North Reems Road

FIRE STATION 303 15440 North Cotton Lane

FIRE STATION 304 22443 North 163rd Avenue

POLICE PROTECTION: Surprise Police Department currently has stations located:

14312 West Tierra Buena Lane

18600 North Reems Road

EXISTING SITE CONDITIONS

The site is 85 % vacant and free of debris. An existing Walgreens Drugstore occupies the remaining 15%

INFRASTRUCTURE

All infrastructures will be developed in accordance with the Surprise Municipal Code.

ITEM 3

STANDARD STIPULATIONS:

- a) Development shall be in accordance with the Site Plan date-stamped September 7, 2006, unless otherwise stated herein;
- b) Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- c) Major changes to this Site Plan with regards to use and intensity must be processed as a revised application with approval by the Planning and Zoning Commission. Minor changes may be administratively approved by the City Engineer, Fire Marshal, Water Services Director, and the Community Development Director;
- d) The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to plan check submittal;
- e) Applicant or property owner must provide the City with approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits;
- f) Approval of this site plan is not to be construed as an approval of any violation of the Surprise Municipal Code, 2003 International Building, Plumbing, Mechanical, Fire Codes and/or the National Electric Codes;
- g) All landscaping, hardscape and wall details shall be submitted for separate landscape review and approval by the Community Development Director prior to issuance of a building permit;
- h) All roof mounted and ground mounted mechanical equipment shall be screened from public view and will be subject to the approval of the Community Development Director;
- i) Because the property is located within the vicinity of a military airport, the applicant shall comply with the noise attenuation standards adopted by the City;
- j) The Certificate of Occupancy for all proposed buildings will require written approval from the Engineering Department, the Community Development Department, the Fire Department, and the Water Resources Department.



DEPARTMENT OF THE AIR FORCE
AIR EDUCATION AND TRAINING COMMAND

RECEIVED
JUN - 9 2006
COMMUNITY DEVELOPMENT

6 June 2006

Mr. James R. Mitchell
Director, Community Initiatives Team
56th Fighter Wing
14185 West Falcon Street
Luke AFB AZ 85309-1629

Ms. Cindy Coen
City of Surprise Planning Department
12425 West Bell Road
Surprise AZ 85374

Re: Case #SPA06-130 Waddell Square

Dear Ms. Coen

Thank you for the opportunity to provide additional comments on the Site Plan Amendment Application for Waddell Square. The 10.89-acre center, at the northwest corner of Reems and Waddell Roads, is applying for amendment to the original plan to now include approximately 56,400 square feet in retail buildings and restaurants. The originally planned Walgreens Pharmacy has been completed at that site. The site is approximately 1 3/4 miles outside the 1988 JLUS 65 Ldn, "high noise or accident potential zone" as defined by A.R.S. § 28-8461 and within the "territory in the vicinity of a military airport" also defined by A.R.S. § 28-8461.

As described, this site plan amendment will not negatively impact the flying operations at Luke AFB. Since the development will be located within the "territory in the vicinity of a military airport," it will be subjected to approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant is essential to inform potential tenants about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsky, at (623) 856-6195.

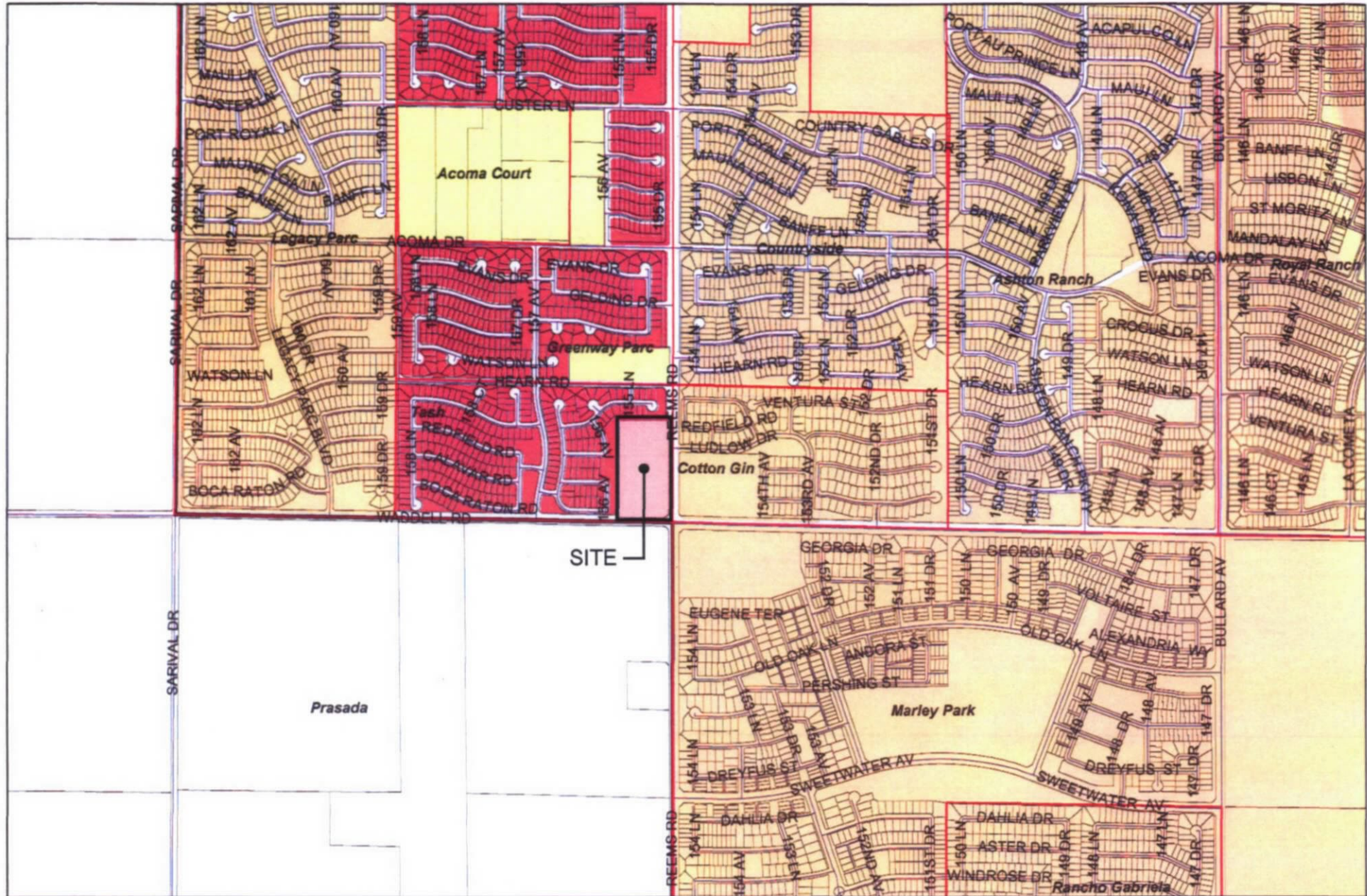
Sincerely

JAMES R. MITCHELL

cc:

Colonel Randell S. Meyer, Vice Commander, 56th Fighter Wing

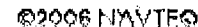
Waddell Square (CS06-238)

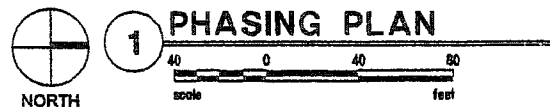
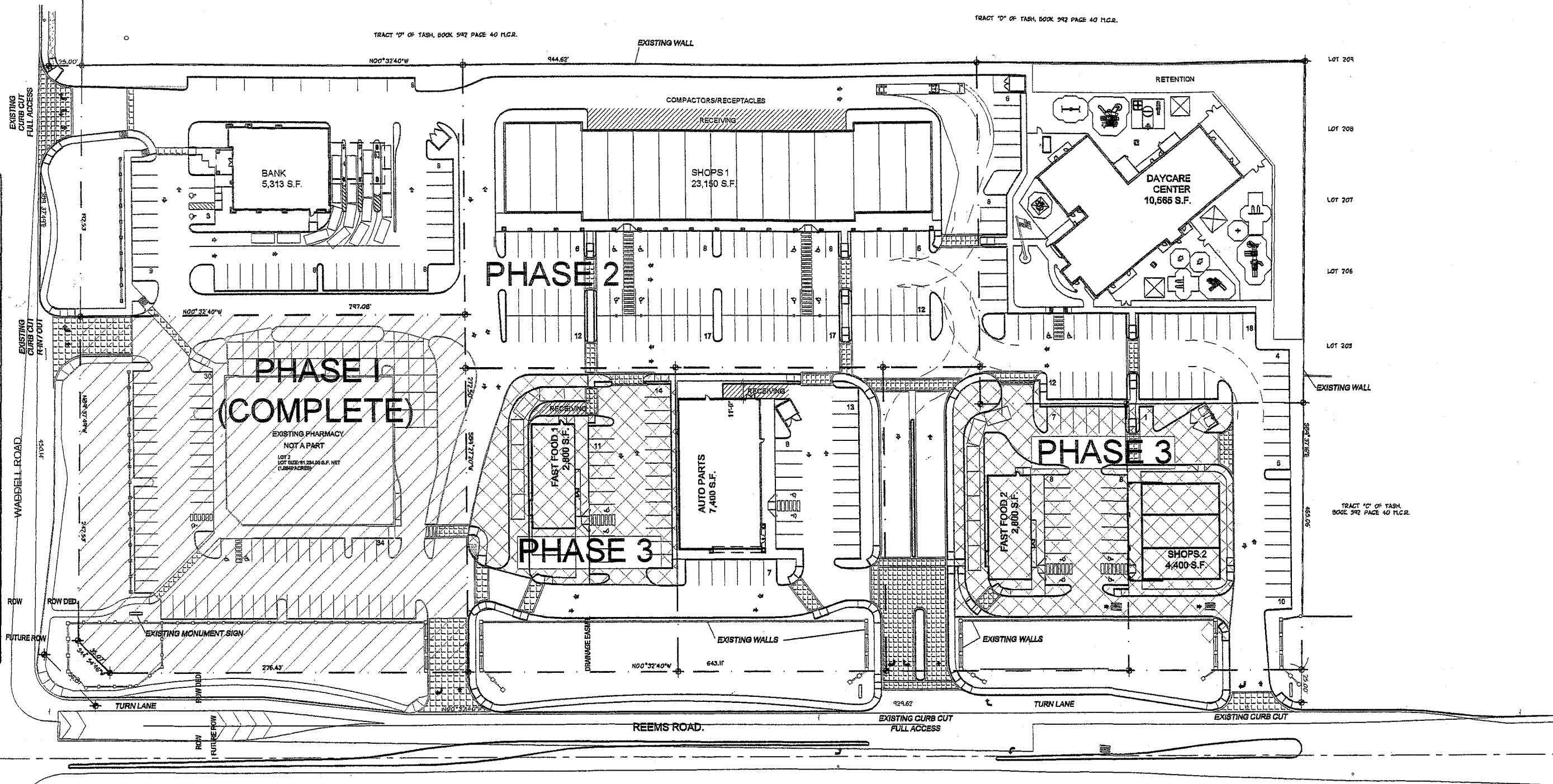


Legend

- | | | |
|-----|-------|--------------------------|
| BP | R-2 | UNOIS92 |
| C-1 | R-3 | UNOIS96 |
| C-2 | R1-43 | F-16_Aux1_Noise_Contours |
| C-3 | R1-5 | I-16_Aux1_contours |
| I-1 | R1-6 | |
| I-2 | | |

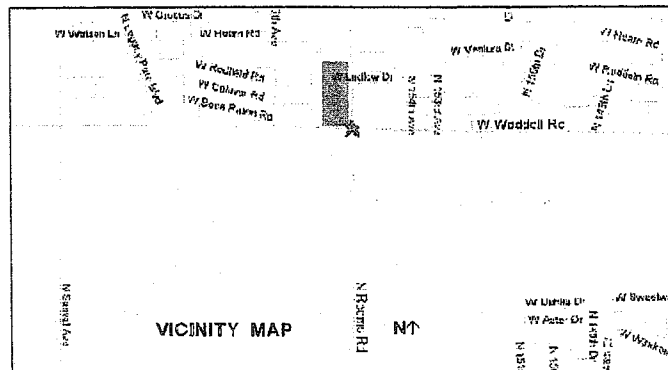






PHASING PLAN

REVISION #20 2-14-08 Master Site Plan Revisions
1. Phase II revisions including Ped types, quantities, locations, parking redesign in prep for site plan amendment pre-app



PROJECT INFORMATION

LOCATION: DEVELOPMENT IS LOCATED AT THE NORTHWEST CORNER REIMS ROAD AND WADDELL ROAD

LEGAL DESCRIPTION:
LOT 1, WADDELL SQUARE, A PORTION OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

OWNER:
CAP XXX - REIMS / WADDELL LLC
2325 SAN PEDRO NE, SUITE 2A
ALBUQUERQUE, NM 87110

PARCEL DATA

BANK PAD

Lot size: 56,894 sf or 1.3061 acres +/-

SHOPS 1

Lot size: 92,362 sf or 2.1203 acres +/-

DAYCARE CENTER

Lot size: 65,799 sf or 1.5105 acres +/-

FAST FOOD 1

Lot size: 37,584 sf or 0.8628 acres +/-

RETAIL AUTO PARTS

Lot size: 37,120 sf or 0.8522 acres +/-

SHOPS 2

Lot size: 34,244 sf or 0.7861 acres +/-

FAST FOOD 2

Lot size: 33,682 sf or 0.7732 acres +/-

Total 8.21 acres +/-

PARKING DATA

BANK PAD

Required: 5,313 sf x 0.9 / 250 = 20 spaces req'd (1 ADA)

Provided: 41 provided (2 ADA)

SHOPS 1

Required: 23,150 sf x 0.9 / 250 = 84 spaces req'd (8 ADA)

Provided: 86 provided (8 ADA)

SHOPS 2

Required: 4,400 sf x 0.9 / 250 = 16 spaces req'd (1 ADA)

Provided: 18 provided (2 ADA)

FAST FOOD 1

Required: 1,000 sf indoor public / 50 = 20 spaces req'd (1 ADA)

Provided: 25 provided (2 ADA)

FAST FOOD 2

Required: 1,000 sf indoor public / 50 = 20 spaces req'd (1 ADA)

Provided: 20 provided (2 ADA)

RETAIL AUTO PARTS

Required: 7,400 sf x 0.9 / 250 = 27 spaces req'd (1 ADA)

Provided: 28 provided (2 ADA)

DAY CARE

Required: 10,565 sf x 0.9 / 200 = 48 spaces req'd (1 ADA)

Provided: 48 spaces provided (2 ADA)

Total Required: 236 spaces (14 ADA) Total Provided: 266 (20 ADA)

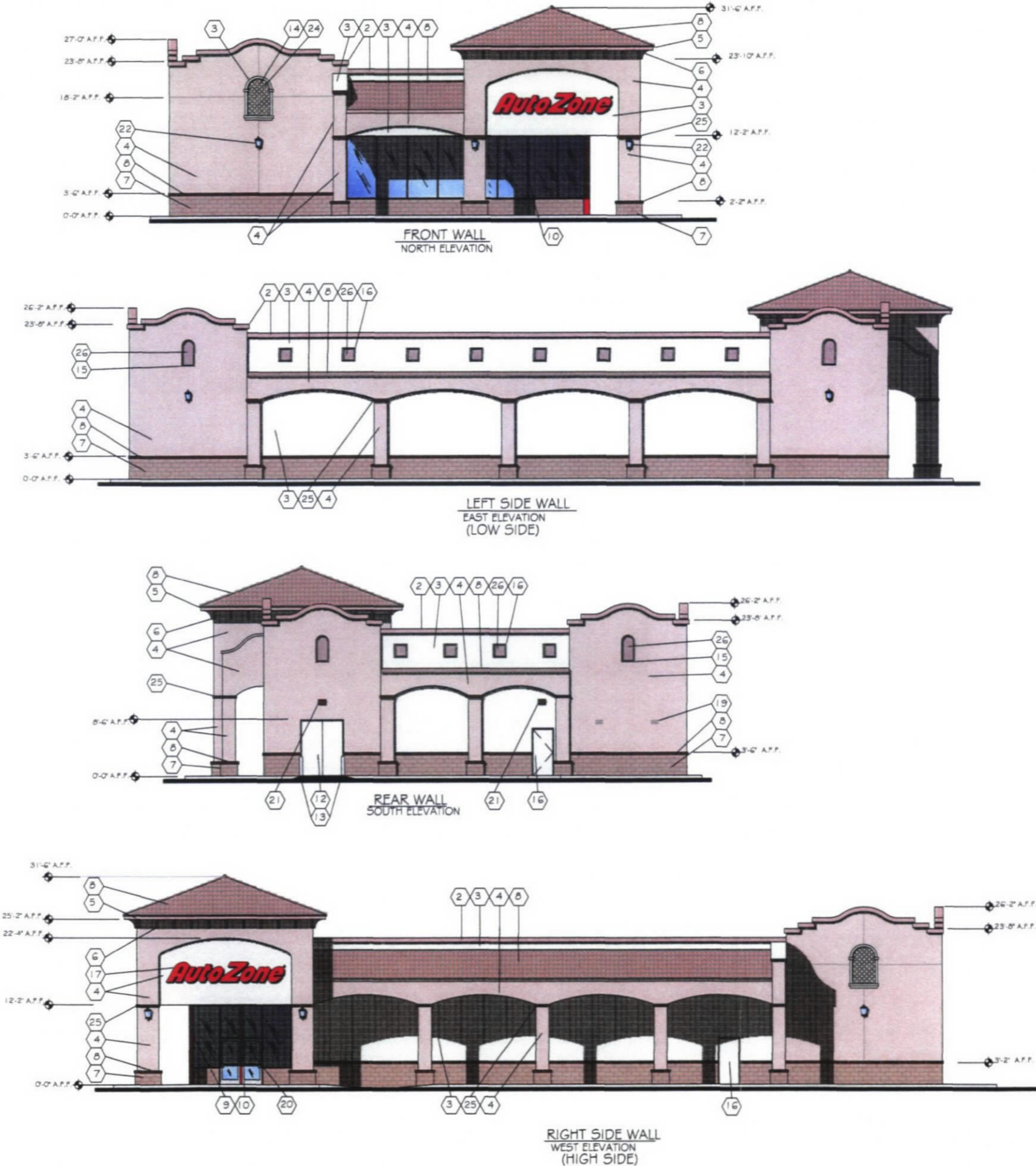
PROJECT TITLE	WADDELL SQUARE	PROJECT NUMBER	JOB NO.	DRAWN BY	AC
	1100 REIMS ROAD AND WADDELL ROAD, SURPRISE, ARIZONA		000		
		PROJECT MANAGER	Jessica Sloan		
		SHEET TITLE	MASTER SITE PLAN		

DATE:	02.16.06	SHEET	A1.1
SCALE:	1"=40'	OF	



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION
1	03.15.06	J.S.	PRE-APP MASTER SITE PLAN AMENDMENT
2	12.5.05		
3			
4			
5			



- 1 ALUMINUM COPING COLOR: SW 2155
- 2 CORNICE - STUCCO FINISH - SW 2155
- 3 STUCCO FINISH - COLOR: SW 2421
- 4 STUCCO FINISH - COLOR: SW 2157
- 5 STUCCO FINISH - COLOR: SW 2155
- 6 WOOD CORNICE SUPPORTS - PT. SW 0001
- 7 INTEGRAL COLOR SPLITFACE BLOCK - RINKER 'PLAIN SCORIA'
- 8 INTEGRAL COLOR CAP BLOCK - RINKER 'PETRO BLACK'
- 9 MONIER MISSION 'S' STYLE PINTO BLEND ROOF TILE
- 10 STORE FRONT SYSTEM - RED KYNAR FINISH
- 11 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 12 PAINT HOLLOW METAL DOORS AND FRAMES - SW2421
- 13 PAINT HOLLOW METAL DOORS AND FRAMES - SW 2157
- 14 6" STEEL BOLLARDS - PT. SW 2086
- 15 2 X 2 WELDED STEEL GRILL - PAINT SW 2086
- 16 FOAM TRIM WITH STUCCO FINISH - COLOR SW 2421
- 17 FOAM TRIM WITH STUCCO FINISH - COLOR SW 2157
- 18 WALL SIGN - 42" HIGH CHANNEL LETTERS - RED FACES
- 19 TOILET WALL VENTS PAINT TO MATCH WALL
- 20 STORE ADDRESS - 12" NUMBERS ON CONTRASTING BACKGROUND
- 21 WALL PAK LIGHT
- 22 DECORATIVE WALL LIGHT
- 23 1" V GROOVE SCORE JOINT
- 24 NOTE RTUS SCREENED BY BUILDING PARAPETS
- 25 FOAM TRIM WITH STUCCO FINISH - COLOR SW 0001
- 26 STUCCO FINISH - COLOR SW 0001

ELEVATION KEY NOTES

PAINT NUMBERS AND COLOR NAMES LISTED BELOW REFER TO SHERWIN WILLIAMS PAINTS

SW 2421 - NIMBUS WHITE

SW 2157 - NOMAD

SW 2155 - GEORGETOWN

SW 0001 - MULBERRY SILK

SW 2086 - GATEWAY GRAY

AutoZone, Inc.
123 South Front Street
Memphis, Tennessee 38103
TEL: (901) 495-8424

Prepared For:
Store No. 3390
REEMS AND WADDEL
SURPRISE
AZ 85379

REVISIONS
1.
2.
3.
4.
SCALE: AS NOTED

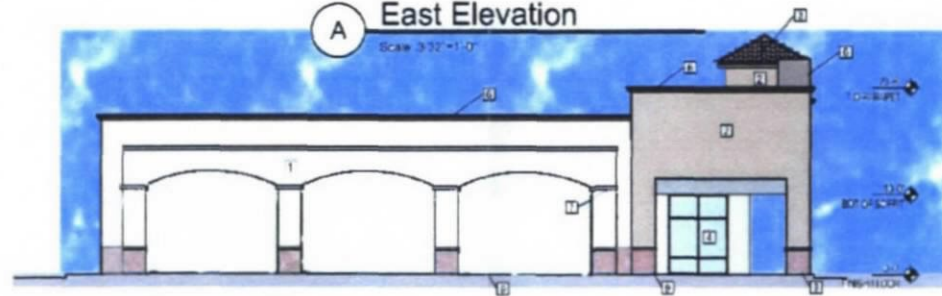
DATE
06-28-06
PROTOTYPE SIZE
7N2-LEFT
A2

AutoZone STORE DEVELOPMENT
EXTERIOR ELEVATIONS & NOTES



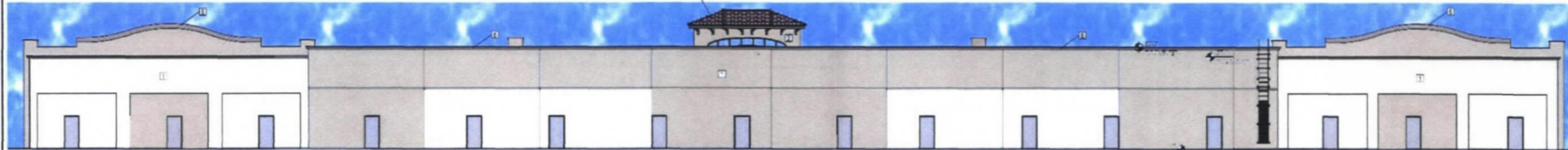
A East Elevation

Scale: 3/32"=1'-0"



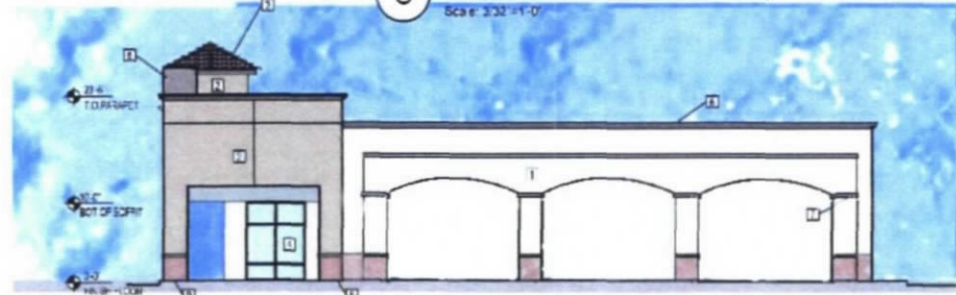
B South Elevation

Scale: 3/32"=1'-0"



C West Elevation

Scale: 3/32"=1'-0"



D North Elevation

Scale: 3/32"=1'-0"

BUILDING MATERIALS PALETTE

#	LOCATION	COLOR
1	FINISHES & JOINTS	MATCH SW6083 "NICE WHITE"
2	ROOF	MATCH SW6044 "DOESKIN"
3	ROOF	EAGLE "CAPSTRAND" STYLE #3314 MOJAVE SHADOWS
4	GLASS	1/2" INSUL. TINTED LOW E GLASS W/ CLR ANODIZED FRAMES
5	GLASS	1/4" CLEAR W/ CLEAR ANODIZED FRAMES
6	FINISHES & JOINTS	MATCH SW6045 "EMERALD TALPE"
7	ACCENT COLOR	MATCH SW6001 "MULBERRY SILK"
8	ACCENT COLOR	MATCH SW6171 "CHAIRROOM"
9	FINISHES & JOINTS	SPLIT FACE INTEGRAL COLOR FINISH "PLAIN SCORIA"
10	FINISHES & JOINTS	INTEGRAL COLOR FINISH "PETRO BLACK"

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 894-9110 FAX (505) 837-9877

PROJECT: WADDEL SQUARE - SHOPS 1
WADDEL SQUARE - SHOPS 1
WADDEL SQUARE - SHOPS 1
WADDEL SQUARE - SHOPS 1

PROJECT MANAGER: [Name]
ARCHITECT: [Name]
DATE: 1.27.06

CONCEPTUAL ELEVATIONS

SCALE: AS NOTED

sheet: A1

PRELIMINARY PLANT LIST

COMMON NAME	BOTANICAL NAME
Trees	
Desert Museum Palo Verde	Cercidium floridum
Sissoo	Dahlbergia sissoo
Evergreen Elm	Ulmus parvifolia
Willow Acacia	Acacia salicina
Phoenix Mesquite	Prosopis hybrid
Shrubs	
Joyba	Simmondsia chinensis
Desert Ruellia	Ruellia peninsularis
Outback Cassia	Senna oligophylla
Valentine Bush	Erimophila 'valentine'
Turpentine Bush	Ericameria laricifolia
Bush Morning Glory	Convolvulus cneorum
Ruellia 'katie'	Ruellia brittoniana 'katie'
New Gold Lantana	Lantana camara 'new gold'
Purple Lantana	Lantana montevidensis
Red Yucca	Hesperaloe parviflora
Twin-Flowered Agave	Agave geminiflora
Heavenly Cloud Texas Sage	Leucophyllum frutescens
Desert Carpet	Acacia redolens
Red Bird of Paradise	Caesalpinia pulcherrima
Hopseed Bush	Dodonaea viscosa

Existing landscape along Waddell Street frontage consists of the following plant material:

- Sissoo Tree
- Evergreen Elm
- Blue Palo Verde
- Joyba
- New Gold Lantana
- Purple Lantana
- Desert Ruellia
- Red Yucca
- Bush Morning Glory



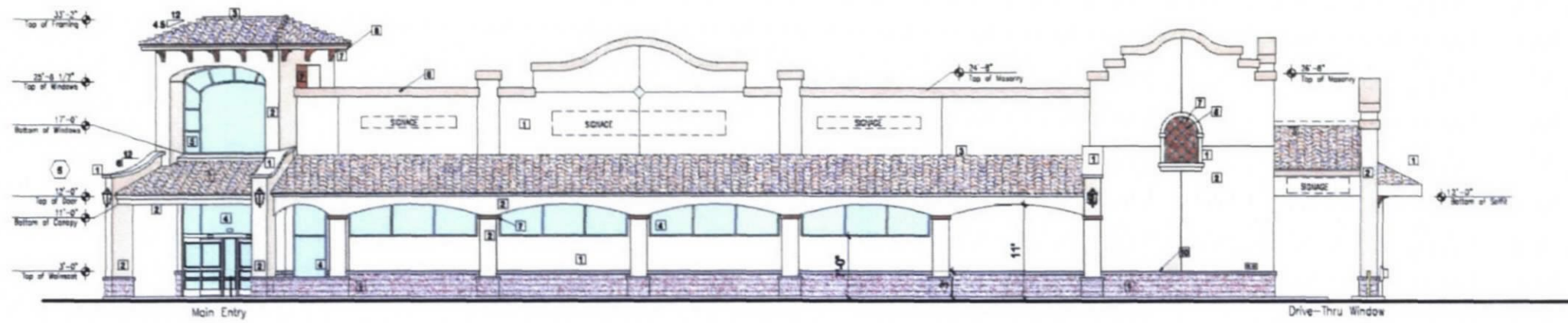
LANDSCAPE DATA

- PARCEL AREA
TOTAL: 8.21 AC. +/- 357,686 Sq. Ft.
- PARKING LOT
TOTAL REQUIRED: 236 SPACES (14 ADA)
TOTAL PROVIDED: 270 SPACES (20 ADA)
- LANDSCAPE AREA
REQUIRED: (15%) 1.23 AC OR 53,644 Sq. Ft.
PROVIDED: (23.9%) 1.96 AC OR 85,655 Sq. Ft.
(15% OF NET AREA REQUIRED TO BE LANDSCAPED)

Existing landscape along Reems Road frontage and the Walgreens consists of the following plant material:

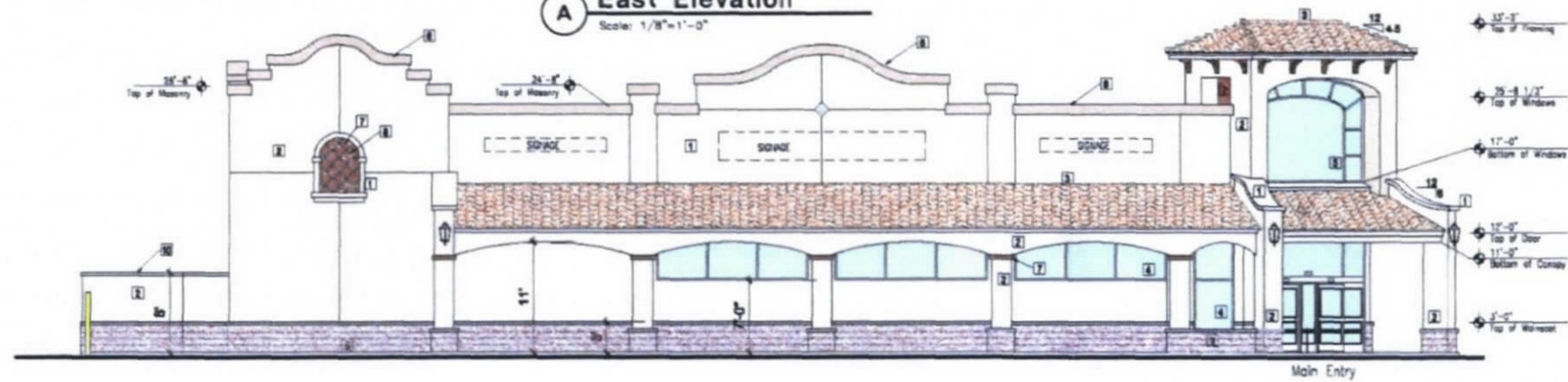
- Blue Palo Verde
- Desert Museum Palo Verde
- Sissoo Tree
- Evergreen Elm
- Joyba
- New Gold Lantana
- Purple Lantana
- Desert Ruellia
- Ruellia 'katie'
- Bush Morning Glory
- Pink Fairy Duster
- Turf





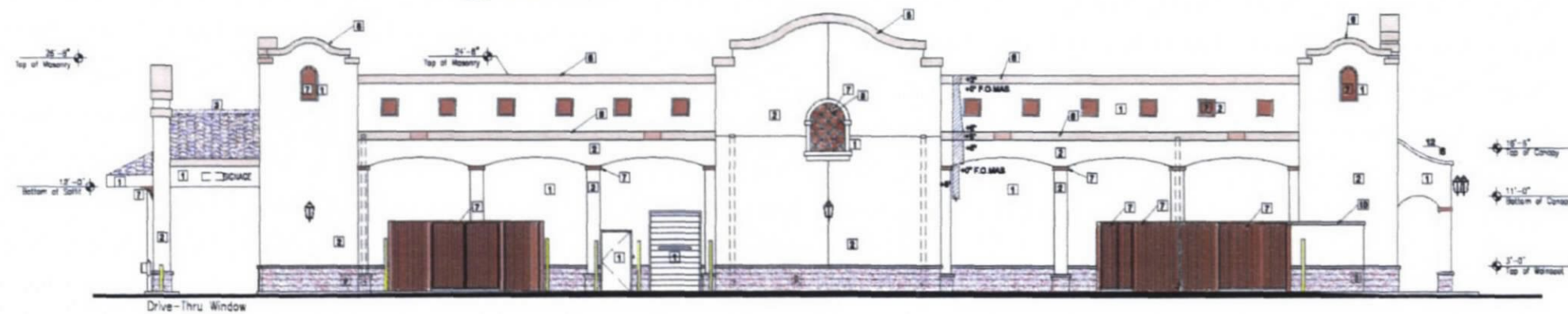
A East Elevation

Scale: 1/8"=1'-0"



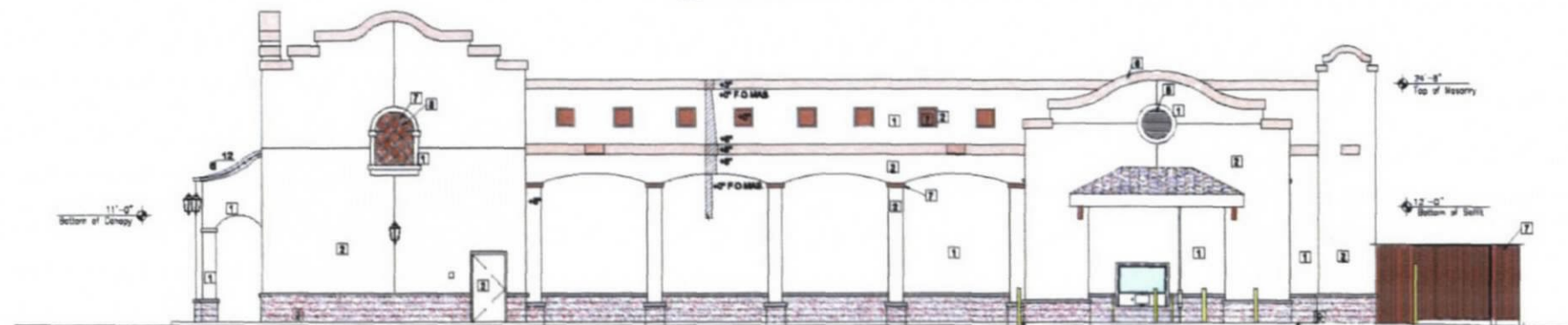
B South Elevation

Scale: 1/8"=1'-0"



C West Elevation

Scale: 1/8"=1'-0"



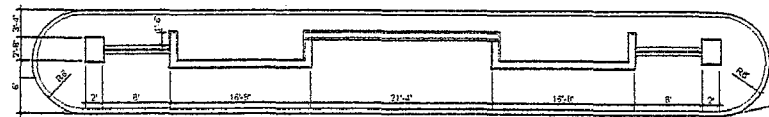
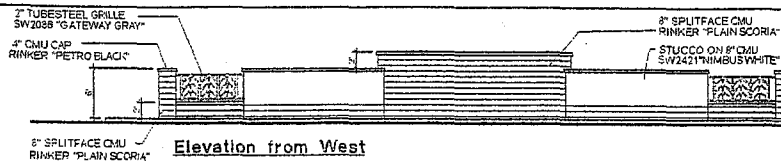
D North Elevation

Scale: 1/8"=1'-0"

BUILDING MATERIALS PALETTE

LOCATION	COLOR
1 PRIMARY STUCCO	MATCH SW2421 "MINIBUS WHITE"
2 ACCENT STUCCO	MATCH SW2167 "HOMAD"
3 ROOF	MONIER MISS-ON "B" STYLE "P-INTO BLEND" 1MS68 0689
4 GLASS	1" INSUL. TINTED, LOW E GLASS W/ CLEAR ANODIZED FRAMES
5 GLASS	1/4" CLEAR W/ CLEAR ANODIZED FRAMES
6 PERIMETER GAP	MATCH SW2185 "GEORGETOWN"
7 ACCENT COLOR	MATCH SW0001 "MULBERRY BLK"
8 ACCENT METAL	MATCH SW2086 "GATEWAY GRAY"
9 MASONRY BLOCK	SPLIT FACE INTEGRAL COLOR RINKER "PLAIN SCORIA"
10 BLOCK CAP	INTEGRAL COLOR RINKER "PETRO BLACK"

EXISTING
WALGREENS



Plan



Screen Wall Detail

Scale 1" = 10'-0"

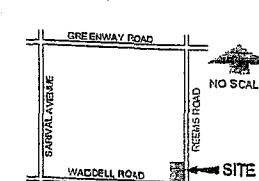
RADIUS INFORMATION:

- | | |
|-------------------|-------------------|
| ① RADIUS = 2'-0" | ⑦ RADIUS = 25'-0" |
| ② RADIUS = 5'-0" | ⑧ RADIUS = 30'-0" |
| ③ RADIUS = 5'-0" | ⑨ RADIUS = 40'-0" |
| ④ RADIUS = 10'-0" | ⑩ RADIUS = 50'-0" |
| ⑤ RADIUS = 15'-0" | ⑪ RADIUS = 75'-0" |
| ⑥ RADIUS = 20'-0" | ⑫ RADIUS = 4'-0" |

KEYED NOTES:

1. COMPACTOR LOCATION - PAD AND ENCLOSURE TO CURRENT CITY OF SURPRISE REQUIREMENTS.
2. YELLOW PAINTED ARROW
3. WALGREENS MONUMENT SIGN 12H WITH 36 SF FACE, BASE MIN 7"
4. NEW LANDSCAPE BUFFERS/ISLANDS
5. BICYCLE RACK LOCATION - 4 BIKES
6. STRIPING, YELLOW, 4" WIDE (TYPICAL)
7. HANDICAPPED SPACE WITH PAINTED SYMBOL AND SIGN PER CITY OF SURPRISE REQUIREMENTS.
8. STANDARD ASPHALT PAVING FOR CAR TRAFFIC. SEE GEOTECHNICAL REPORT
9. 2-LANE PHARMACY DRIVE-THRU
10. HC RAMP PER ADA STANDARDS - RED STAINED CONCRETE
11. STRIPED HANDICAPPED ACCESS AISLE
12. HEAVY DUTY ASPHALT PAVING FOR TRUCK TRAFFIC. SEE GEOTECHNICAL REPORT
13. YELLOW PAINTED ARROW AND 24" HIGH LETTERS
14. TRANSFORMER LOCATION
15. LOADING PAD
16. CONCEPTUAL FUTURE PHASE LINE
17. LIGHT POLE LOCATION - TOP OF FIXTURE 15' ABOVE GRADE
18. WALL MOUNTED SITE LIGHT - BOTTOM OF FIXTURE 20' ABOVE GRADE
19. 8" HIGH MASONRY SCREEN WALL
20. FIRE HYDRANT - SEE CIVIL TYPICAL
21. ELEVATED DRIVE WITH PEDESTRIAN GUARDRAILS
22. 3 FT LANDSCAPE STRIP
23. 3 FT STRIPES GREEN WALL

VICINITY MAP



Walgreens

FACILITIES PLANNING AND DESIGN
209 WALNUT ROAD
708-948-2500

DEERFIELD, IL
© 2015

PROJECT TYPE

DRAWING/SPECIFICATIONS BY:
☐ WALGREENS CONSULTANT
☐ LANDLORDS CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:
☐ WALGREENS CONTRACTOR
☐ LANDLORDS CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW	NEW
REMODELING	EXISTING
RELOCATION	EXISTING
OTHERS	NEW SHELL ONLY

PROJECT INFORMATION

LOCATION: DEVELOPMENT IS LOCATED AT THE NORTHWEST CORNER REEMS ROAD AND WADDELL ROAD

LEGAL DESCRIPTION: A PORTION OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

PHASE 1: PAD A (WALGREENS)

ZONING: VACANT LAND C-2
OCCUPANT LOAD: 381 OCCUPANTS
OCCUPANCY GROUP: M (MERCANTILE)
TOTAL ACREAGE: 22.20 (1.86 NET) ACRES
CONSTRUCTION TYPE: VAN SPRINKLERED
TOTAL BUILDING AREA: 14,820 SQUARE FEET
PARKING ANALYSIS: REQUIRED PARKING SPACES 14820 / 250 = 60
PROVIDED PARKING SPACES 64
INCLUDING 61 STANDARD PARKING SPACES
AND 3 ACCESSIBLE SPACES (1 VAN SPACE)

FUTURE PHASES PARKING DATA
PAD B Retail 6,600sf x 0.9 / 250 = 24 spaces req'd.
Pad B total req'd: 24 spaces with 1 HC space
Provided: 24 spaces with 2 HC spaces
PAD C Retail 4,200sf x 0.9 / 250 = 15 spaces req'd.
PAD C Restaurant 4,200sf - 50% Public Assumed
2,100sf x 0.9 / 50 = 38 spaces req'd.
PAD C total req'd: 57 spaces with 3 HC spaces
Provided: 61 spaces with 3 HC spaces
PAD D Restaurant 3,000sf - 50% Public Assumed
1,500sf x 0.9 / 50 = 27 spaces req'd.
PAD D total req'd: 31 spaces with 2 HC spaces
Provided: 34 spaces with 2 HC spaces
MAJOR A Retail 55,835sf x 0.9 / 250 = 201 spaces
MAJOR A total req'd: 201 spaces with 7 HC spaces
Provided: 201 spaces with 8 HC spaces

ALL PHASES TOTAL Required Parking 374 spaces
Includes 358 Standard and 16 HC spaces
ALL PHASES TOTAL Provided Parking 384 spaces
Includes 366 Standard and 18 HC spaces

NO.	DATE	BY	DESCRIPTION	CONST.
6	11-12-03	BJ	CITY COMMENTS	
7	10-14-03	BJ	SURPRISE PLANNING COMMENTS	
8	9-18-03	BJ	TECH REVIEW+GRAA COMMENTS	
9	9-22-03	BJ	CAP II COMMENTS	
4	8-16-03	BJ	SITE DEVELOPMENT ADDED	
3	4-4-03	MPS	REVISED ALTA SURVEY	
2	3-10-03	MPS	CURB CUTS, STRAIGHT S ENTRY	
1	11-25-02	MPS	REV. BULD. SIZE TO 112' X 130'	

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF ARIZONA AS SIGNIFIED BY MY HAND AND SEAL.

PROJECT NAME

WALGREENS STORE
HWC OF REEMS ROAD AND WADDELL ROAD
SURPRISE PLANNING COMMENTS

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

DRAWING TITLE

SITE PLAN

DATE	BY	STORE NO.	DRAWING NO.
4/10/2011	MPS		
11/12/04	BJ		
12/29/03	BJ		
12/17/03	BJ		

SCALE: 1" = 40'-0"
RELEASED TO CONSTRUCTION
A1.0A

Site Plan

Scale 1" = 40'-0"

DEVELOPER

CAP XXX
2325 SAN PEDRO, NE
ALBUQUERQUE, NM 87110
505-884-3578

REV	DATE	BY	REMARKS
11	02/17/04	BJ	CITY COMMENTS
10	12/29/03	BJ	CORRECT CAR COUNTS
9	12/17/03	BJ	CITY COMMENTS

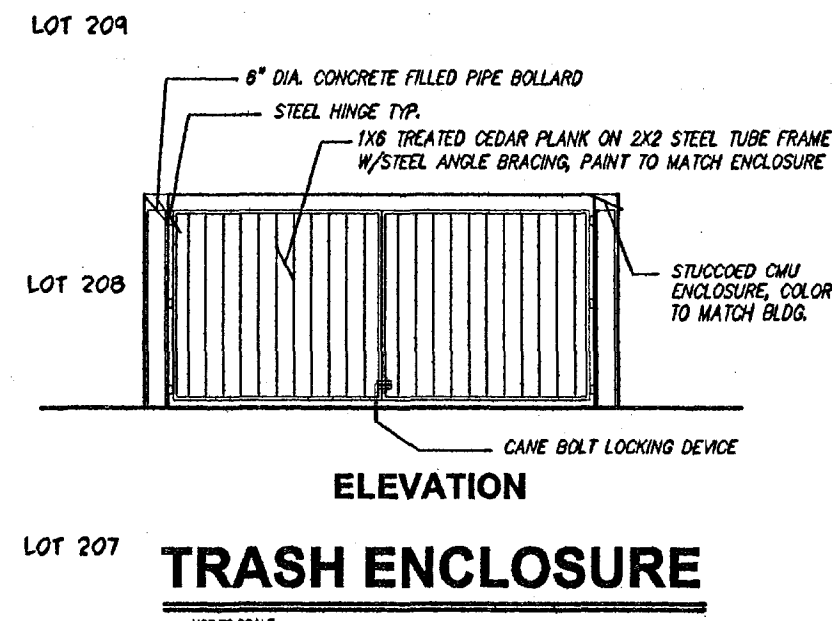
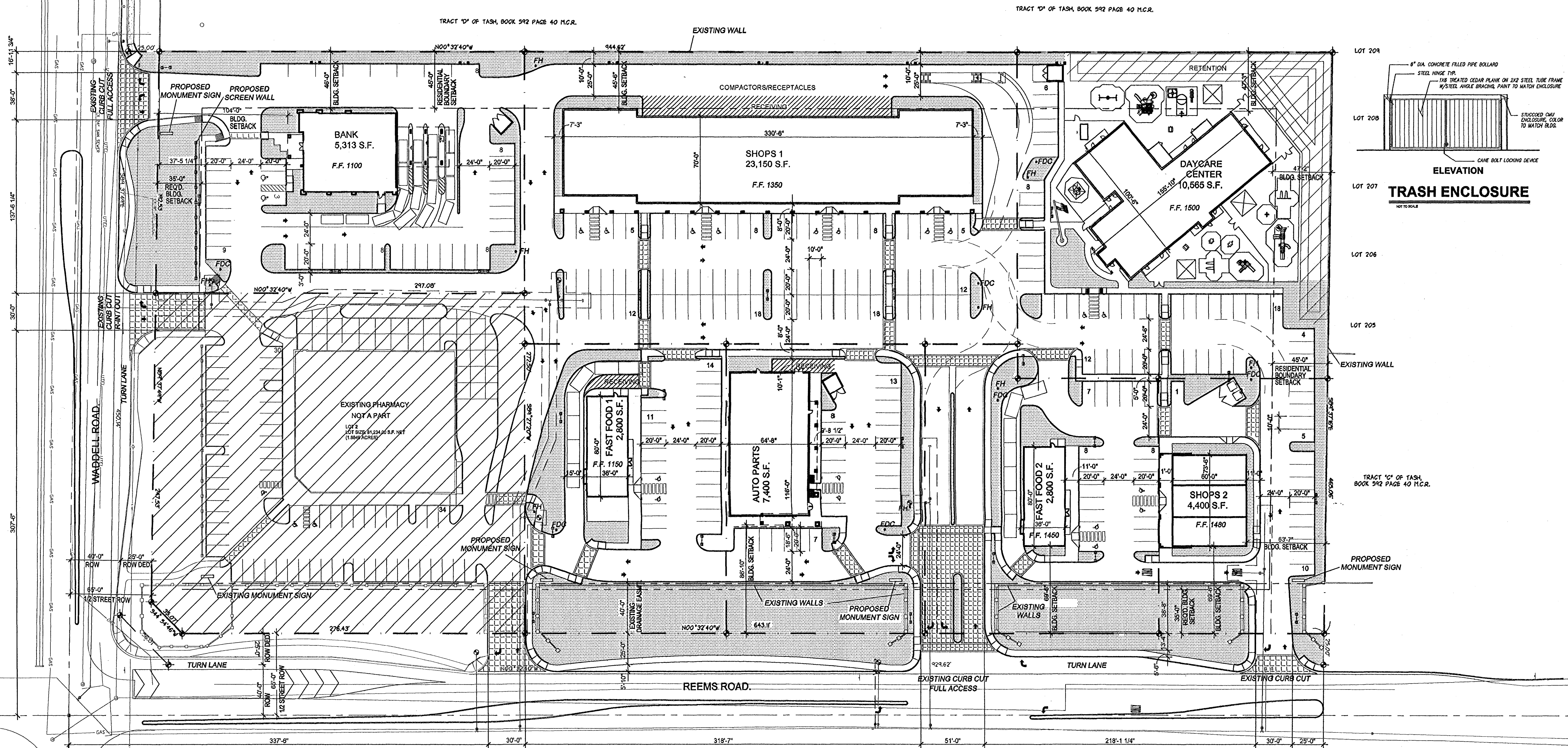
PREVIOUSLY APPROVED SITEPLAN

REVISION #11 2-17-04
1. CHANGE WEST AISLE OF MAJOR A PARKING TO ANGLED PARKING.
2. UPDATE CAR COUNT DUE TO #1 TO 6 CARS LESS.
3. ADJUST ISLANDS SW AND NW OF WALGREENS PER CITY TRAFFIC COMMENTS.
4. ADD WALGREENS LOADING AREA SCREEN WALL DETAILS.

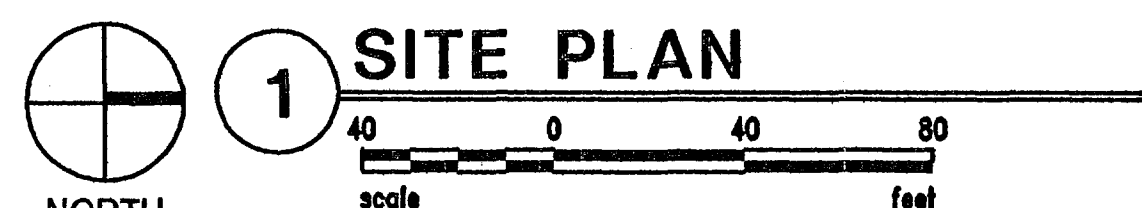
REVISION #10 12-30-03
1. CORRECT CAR COUNTS FOR PAD C, PAD D, AND MAJOR A.
2. INDICATE EMERGENCY VEHICLE ACCESSIBILITY ROUTES WITH SHADING.

REVISION #9 12-17-03

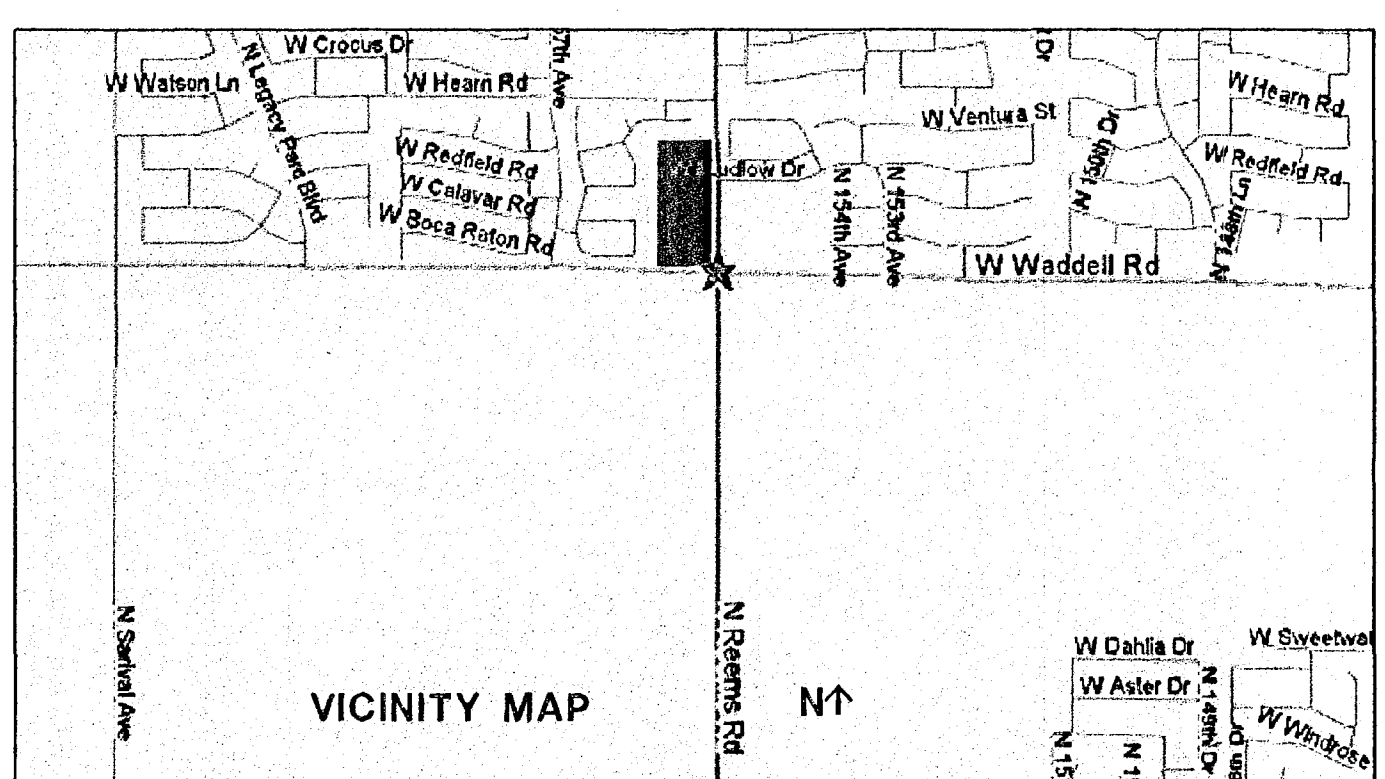
ALL PROPOSED DEVELOPMENT PHASES SHOWN ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, AS CALLED AND MARKED IN ACCORDANCE TO THE REQUIREMENTS OF THE CITY OF SURPRISE.



ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE



- ORNAMENTAL PAVEMENT TREATMENT
- LANDSCAPING AREA
- LOADING ZONE
- FH FIRE HYDRANT
- FDC FIRE DEPT. CONNECTION
- POLE MOUNTED LIGHT



PROJECT INFORMATION
LOCATION: DEVELOPMENT IS LOCATED AT THE NORTHWEST CORNER REEMS ROAD AND WADDELL ROAD

LEGAL DESCRIPTION:
LOT 1, WADDELL SQUARE, A PORTION OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

OWNER:
CAP XXX - REEMS / WADDELL LLC
2325 SAN PEDRO NE, SUITE 2A
ALBUQUERQUE, NM 87110

PARCEL DATA

- BANK PAD**
Lot size: 56,894 sf or 1.3061 acres +/-
- SHOPS 1**
Lot size: 92,362 sf or 2.1203 acres +/-
- DAYCARE CENTER**
Lot size: 65,799 sf or 1.5105 acres +/-
- FAST FOOD 1**
Lot size: 37,584 sf or 0.8628 acres +/-
- RETAIL AUTO PARTS**
Lot size: 37,120 sf or 0.8522 acres +/-
- SHOPS 2**
Lot size: 34,244 sf or 0.7861 acres +/-
- FAST FOOD 2**
Lot size: 33,682 sf or 0.7732 acres +/-

Total 357,688 sq. ft. or 8.21 acres +/-

Building only site coverage:
58,428 sq. ft. or 15.78%

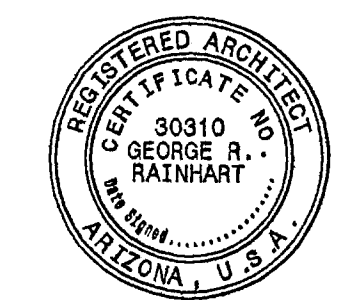
Building and hardscape coverage:
272,031 sq. ft. or 78.1%

Landscape site coverage:
85,655 sq. ft. or 23.9%

PARKING DATA

- BANK PAD**
Required: 5,313 sf x 0.9 / 250 = 20 spaces req'd (1 ADA)
Provided: 41 provided (2 ADA)
- SHOPS 1**
Required: 23,150 sf x 0.9 / 250 = 84 spaces req'd (8 ADA)
Provided: 86 provided (8 ADA)
- SHOPS 2**
Required: 4,400 sf x 0.9 / 250 = 16 spaces req'd (1 ADA)
Provided: 18 provided (2 ADA)
- FAST FOOD 1**
Required: 1,000 sf indoor public / 50 = 20 spaces req'd (1 ADA)
Provided: 25 provided (2 ADA)
- FAST FOOD 2**
Required: 1,000 sf indoor public / 50 = 20 spaces req'd (1 ADA)
Provided: 20 provided (2 ADA)
- RETAIL AUTO PARTS**
Required: 7,400 sf x 0.9 / 250 = 27 spaces req'd (1 ADA)
Provided: 28 provided (2 ADA)
- DAY CARE**
Required: 10,565 sf x 0.9 / 200 = 48 spaces req'd (1 ADA)
Provided: 48 spaces provided (2 ADA)

Total Required: 236 spaces (14 ADA) Total Provided: 268 (20 ADA)



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	WADDELL SQUARE	DATE	02.18.08
PROJECT MANAGER	NWC REEMS ROAD AND WADDELL ROAD, SURPRISE, ARIZONA	SCALE	1"=40'
PROJECT MANAGER	JOHN D. GIBB	SHEET TITLE	MASTER SITE PLAN
PROJECT MANAGER	JOHN D. GIBB	DATE	02.18.08
PROJECT MANAGER	JOHN D. GIBB	SCALE	1"=40'
PROJECT MANAGER	JOHN D. GIBB	SHEET TITLE	MASTER SITE PLAN

A1.1

REV	DATE	BY	REVISION
1	02.18.08	JS	ENGINEERING COMMENTS
2	02.18.08	JS	TAC RESUBMITTAL
3	02.18.08	JS	TAC SUBMITTAL
4	02.18.08	JS	PRE-APP MASTER SITE PLAN AMENDMENT

Narrative Description Of Waddell Square Shopping Center

A Peterson Properties Development

**Northwest Corner Of
Reems Road And Waddell Road
Surprise, AZ**



Application for Site Plan Amendment

December 5, 2005

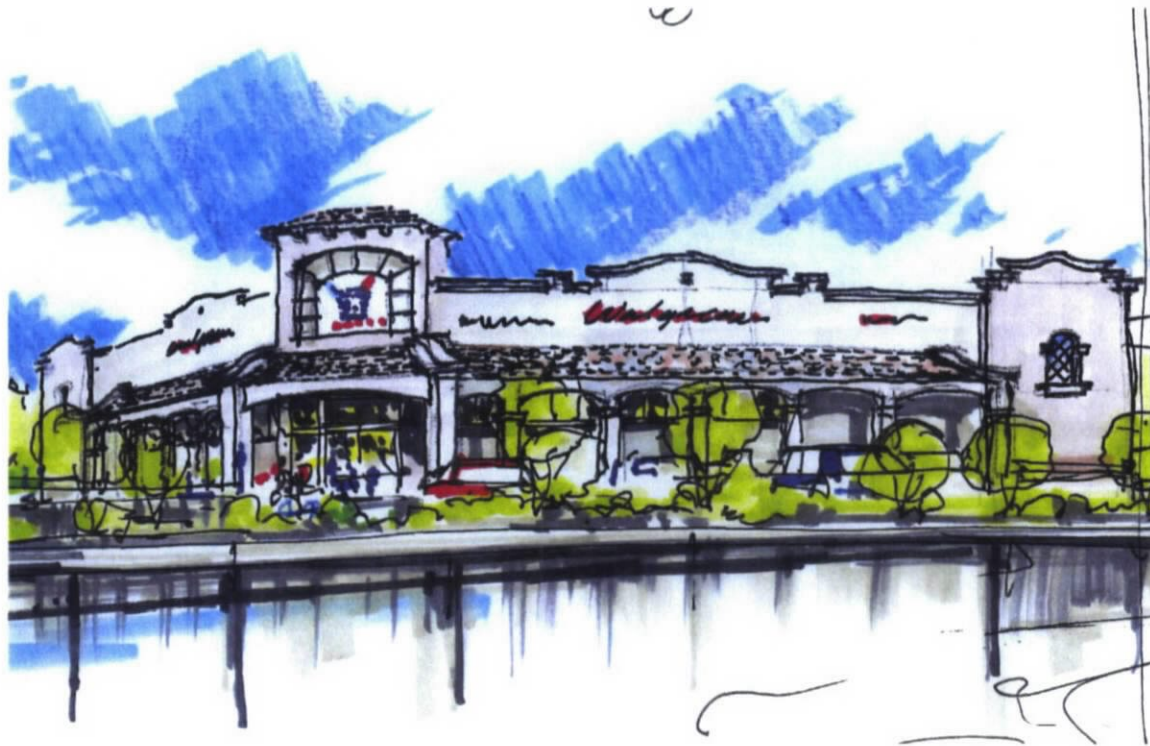
Revised April 5, 2006

Revised August 1, 2006

Revised September 1, 2006

Waddell Square Shopping Center

A Proposed Site Plan Amendment at the Northwest Corner of Reems Road & Waddell Road



Introduction

This document accompanies an application for an amendment to a previously approved site plan for Waddell Square, a neighborhood retail center situated on 10.89 acres of C-2-zoned land at the northwest corner of Reems Road and Waddell Road in Surprise, Arizona.

A master site development plan was approved by the City of Surprise Planning and Zoning Commission on March 16, 2004 as agenda item SP03-289. As approved, Waddell Square consisted of 88,655 square feet of retail space, including a 14,820 sf Walgreens Drugstore, a 55,835 sf retail building, a 3,000 sf restaurant and 15,000 sf of retail buildings intended for smaller retail, service, and restaurant users (see Exhibit "A" for approved master site development plan).

The most significant requested change to the approved plan would be the elimination of the large retail facility at the North end of the site. The resulting plan would be a more homogenous scale of buildings with more consistent footprints. The amended site proposal would further diversify the intended uses by including a day care center and bank. The Walgreens Drugstore has been built and is operational. As depicted now, proposed facilities will include a 5,313 sf bank, 23,150 sf shops building, 10,565 sf day care center, a 4,400 sf shops building, a 7,400 sf auto parts store, and two 2,800 sf fast food restaurants (see Exhibit "B" for proposed amended master site development plan).

Waddell Square Shopping Center

A Proposed Site Plan Amendment at the Northwest Corner of Reems Road & Waddell Road

Phasing Plan

With Phase I (Walgreens) now complete, development of Phase II construction will commence upon approval of an amended master plan. Phase II will consist of all the remaining pads and shops (and associated sidewalks, paving, and landscape) with the exception of the two fast food parcels and the smaller shops parcel. These parcels will remain conceptual until specific buyers have been located, and will comprise Phase III. (See Exhibit "H" for a Phasing Plan diagram.)

Density

The remaining portion of the site to be developed (excluding the existing Walgreens parcel) comprises 8.21 net acres or 357,686 square feet. With a total proposed build-out of 56,428 sf, lot coverage of the amended site plan would be 15.78%. Lot coverage of the previously-approved site plan was 20.64%.

Pre-existing Site Aspects

The site for Waddell Square is relatively flat, with a north to south grade reduction of approximately four feet over 960 feet of north to south frontage. The site is vacant dirt with sparse vegetation. According to a Geotechnical Study performed for the applicant by Kleinfelder, Inc., dated December 2002, it is "likely that the site was a previously irrigated agricultural field prior to the construction of the surrounding residential development." The report goes on to describe the soils and subsoils of the site as "interbedded layers of silty clays and clayey silts, clayey sands," and "silty sands." The report concluded that the site was "suitable for development from a geotechnical perspective, using shallow footings with slab-on-grade floors and some site grading". (See Exhibit "F" for proposed Grading.)

Five driveway entries to the site, two on Waddell Road, three on Reems Road, have been completed per the approved master site plan. Utility lines have been stubbed into the site in preparation for service to the proposed remaining phases of development.

As previously stated, the Walgreens at the intersection of Reems and Waddell has been constructed according to the approved master site plan, in conjunction with associated parking and site screen walls bordering its parcel.

Drainage

A portion of the subject parcel and the overall property currently lies within a mapped FEMA flood plain. The developer has removed the flood plain area onsite by constructing a flood channel. In a recorded document dated April 8, 2003, the applicant granted unto the City of Surprise a 65' easement for a drainage channel along the Reems Road frontage of the site. The extension of this drainage channel has been completed as part of the first phase of construction at Waddell Square. It has been designed to convey flood waters in a southerly direction towards the intersection of Reems Road and Waddell Road. The ultimate

Waddell Square Shopping Center

A Proposed Site Plan Amendment at the Northwest Corner of Reems Road & Waddell Road

development will be designed to accommodate all storm water retention requirements as required by the City of Surprise. These design parameters require that the development contain a 100-year, 2-hour storm event for the entire commercial property, including the half street frontage of Waddell Road, but in this case excludes the area for Reems Road, as there is no way to convey the storm water drainage through the proposed flood control channel along the street frontage.

Utilities

Off-site utilities serving the site include:

Water – 12" water lines are in both Reems Road and Waddell Road adjacent to the site. Water is provided by Arizona – American Water Company.

Sanitary Sewer – a 24" sewer line in Reems Road and a 24" sewer line in Waddell Road are adjacent to the site. Sanitary sewer service is provided by the City of Surprise.

Natural Gas – a 4" gas line is available in Waddell Road adjacent to the site and a 4" gas line exists 20' east of Reems Road adjacent to the site. Natural gas service is provided by Southwest Gas.

Electric – a 12KV overhead electric line is available adjacent to the site on the west side of Reems Road. Electric service is provided by APS.

Telephone – an underground telephone line exists in Waddell Road adjacent to the site. Telephone service is provided by Qwest.

Nearby Residential Properties

Waddell Square will serve the needs of the surrounding residents. Each side of Reems Road north of Waddell Square and south of Bell Road has been in various stages of residential construction, featuring the following projects:

<u>Project Name</u>	<u>Location</u>	<u>Number of Lots</u>
Tash	Reems Rd., North of Waddell, adjacent to Waddell Square	251
Cotton Gin	Northeast corner of Reems Rd and Waddell Rd	209
Countryside	East side of Reems Rd between Waddell Rd and Greenway Rd	788

Each side of Reems Road south of Waddell Square and north of Cactus Road has been in various stages of residential construction, featuring the following projects:

<u>Project Name</u>	<u>Location</u>	<u>Number of Lots</u>
Marley Park	Southeast corner of Reems Rd. and Waddell Rd.	3,060
Cactus Lane Ranch	Southwest corner of Reems Rd. and Waddell Rd.	TBD

Waddell Square Shopping Center

A Proposed Site Plan Amendment at the Northwest Corner of Reems Road & Waddell Road

The north side of Waddell Road both east and west of Waddell Square features residential projects under construction, including the Tash and Cotton Gin projects referenced above as well as the following projects:

<u>Project Name</u>	<u>Location</u>	<u>Number of Lots</u>
Lagacy Park	Northeast corner of Waddell and Sarival	1,031
Ashton Ranch	Northwest corner of Waddell and Bullard	1,220

The south side of Waddell Road west of Waddell Square features the proposed Cactus Lane Ranch development referenced above while the south side of Waddell Road east of Reems Road features Marley Park, also referenced above.

Nearby Commercial Properties

Sierra Verde Commercial Corner is under construction two miles to the east of Waddell Square at Litchfield Road and Waddell Road and will contain 179,500 square feet of retail space. Sierra Verde will feature a Fry's supermarket, a Bank One branch, and approximately 20,000 square feet for smaller retail, service, and restaurant tenants. Surprise Crossings is under construction at the same intersection as Sierra Verde. Surprise Crossings will comprise 139,305 square feet, including a Safeway supermarket, a McDonalds, a Bank of America branch, and approximately 23,000 square feet for small retail, restaurant, and service tenants. Sierra Verde and Surprise Crossings will serve the existing and new residential development in southeastern Surprise.

Two miles south of Waddell Square, at the intersection of Reems Road and Peoria Avenue, the Surprise Medical and Professional Office Buildings are under construction and will contain 34,255 square feet of space. Two miles to the north of Waddell Square, at the intersection of Reems Road and Bell Road, the Village at Reems and Bell was recently approved by the Planning and Zoning Commission. The Village at Reems and Bell will feature 101,968 square feet of retail space. Along with many other commercial properties on Bell Road, the Village at Reems and Bell will serve the existing residential population in central Surprise.

Waddell Square is ideally located to provide services to the rapidly growing south-central region of Surprise. Reems Road and Waddell Road are major arterial roadways allowing residents in each direction to easily access Waddell Square's stores and services. No other property at the intersection of Reems Road and Waddell Road is zoned commercially; they will each be part of various residential subdivisions described above.

Waddell Square is appropriately spaced relative to projects of a similar nature in Surprise. As detailed above, Sierra Verde Commercial Corner and Surprise Crossings are two miles to the east of Waddell Square and the Village at Reems and Bell is two miles to the north. No other commercial properties of a similar size and accessibility exist within a two mile radius of Waddell Square. As residential build out continues to the south and west of Waddell Square, the City of Surprise may continue to guide development such that retail projects are spaced approximately two miles apart.

Waddell Square Shopping Center

A Proposed Site Plan Amendment at the Northwest Corner of Reems Road & Waddell Road

Nearby Amenities and Facilities

Recreation available to residents near Waddell Square includes that offered by the Surprise Recreation Campus approximately two miles to the northeast, featuring Spring Training games, baseball fields, the Surprise Aquatic Center, two tennis courts, two lighted sand volleyball courts, a playground, and barbecue facilities. Sierra Montana park is located less than one mile to the northeast of Waddell Square featuring a softball field, a multipurpose field, two basketball courts, three sand volleyball courts, a playground, and barbecue facilities. The Countryside Recreation Center exists approximately one mile to the northeast of Waddell Square and features a multipurpose gymnasium and a dance/aerobics room. The Surprise Regional Library resides approximately one mile northeast of Waddell Square. Surprise is served by eight public golf courses.

Recreation is available in and open space is preserved by the White Tank Regional Park six miles west of Waddell Square.

As a commercial project, Waddell Square will not increase the demand for area schools. The area surrounding Waddell Square is served by the Dysart Unified School District. Children attending kindergarten through 8th grade that reside immediately to the east, west, and north of Waddell Square are within the attendance boundaries of Countryside Elementary. Children attending kindergarten through 8th grade that reside to the south of Waddell Square are within the attendance boundaries of Marley Park Elementary. Students attending high school that reside to the north, west, east, and southwest of Waddell Square are within the attendance boundaries of Willow Canyon High School. Students attending high school that reside to the southeast of Waddell Square are within the attendance boundaries of Dysart High School. Undergraduate, graduate, and continuing education is provided to area residents by Arizona State University's West campus, Rio Salado College's learning center, the Maricopa Skill Center, and the American Graduate School of International Management ("Thunderbird").

Conclusion

The proposed modifications to the approved master site development plan will be consistent with the development standards booklet prepared for Waddell Square in December 2003, as well as in accordance with the "Planning and Design Guidelines Manual" published by the city of Surprise, Arizona. Architecture will carry forward the pre-established design vocabulary approved for the existing Walgreens. This will include consistent application of landscaping themes, signage, lighting, and general approach to site circulation. The approved Walgreens elevations along with a conceptual elevation of the proposed larger shops building, and the conceptual auto parts store elevations, have been included in this narrative (Exhibits "C", "D", "E" respectively) to illustrate the intent of continuing to utilize design articulation already established for Waddell Square. The proposed site plan amendment will improve upon the existing site plan in the areas of building scale and overall site layout consistency, while maintaining aspects of building design and general flow of traffic circulation.

Waddell Square Shopping Center

A Proposed Site Plan Amendment at the Northwest Corner of Reems Road & Waddell Road

EXHIBIT A – APPROVED SITE PLAN



FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD
708-440-2500

DEERFIELD, IL
60015

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
☐ WALGREENS CONSULTANT
☐ LANDLORDS CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:
☐ WALGREENS CONTRACTOR
☐ LANDLORDS CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW	NEW
REMODELING	EXISTING
RELOCATION	NEW SHELL ONLY
OTHERS	

PROJECT INFORMATION

LOCATION: DEVELOPMENT IS LOCATED AT THE NORTHWEST CORNER REEMS ROAD AND WADDELL ROAD

LEGAL DESCRIPTION:
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST, OF THE SBLA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA
PHASE 1: PAD A (WALGREENS)

ZONING: VACANT LAND C-2
OCCUPANT LOAD: 381 OCCUPANTS
OCCUPANCY GROUP: M (MERCANTILE)
TOTAL ACREAGE: 42.20 (1.88 NET) ACRES
CONSTRUCTION TYPE: V-N SPRINKLERED
TOTAL BUILDING AREA: 14,820 SQUARE FEET
PARKING ANALYSIS:
REQUIRED PARKING SPACES: 14820 / 250 = 60
PROVIDED PARKING SPACES: 64
INCLUDING 61 STANDARD PARKING SPACES
AND 3 ACCESSIBLE SPACES (1 VAN SPACE)

FUTURE PHASES PARKING DATA
PAD B Retail 6,600sf x 0.9 / 250 = 24 spaces req'd.
Pad B total req'd: 24 spaces with 1 HC space
Provided: 24 spaces with 2 HC spaces
PAD C Retail 4,200sf x 0.9 / 250 = 15 spaces req'd.
PAD C Restaurant 4,200sf - 50% Public Assumed
2,100sf x 0.9 / 50 = 38 spaces req'd.
PAD C Patio 800sf / 200 = 4 spaces req'd.
Pad C total req'd: 57 spaces with 3 HC spaces
Provided: 61 spaces with 3 HC spaces
PAD D Restaurant 3,000sf - 50% Public Assumed
1,500sf x 0.9 / 50 = 27 spaces req'd.
PAD D Patio 800sf / 200 = 4 spaces req'd.
Pad D total req'd: 31 spaces with 2 HC spaces
Provided: 34 spaces with 2 HC spaces
MAJOR A Retail 55,835sf x 0.9 / 250 = 201 spaces
MAJOR A total req'd: 201 spaces with 7 HC spaces
Provided: 201 spaces with 8 HC spaces

ALL PHASES TOTAL Required Parking 374 spaces
Includes 358 Standard and 16 HC spaces
ALL PHASES TOTAL Provided Parking 384 spaces
Includes 366 Standard and 18 HC spaces

NO.	DATE	BY	DESCRIPTION	CONST.
8	11-14-00	BJ	CITY COMMENTS	
7	10-14-00	BJ	SURPRISE PLANNING COMMENTS	
6	8-16-00	BJ	TECH REVIEW-GRAA COMMENTS	
5	8-20-00	BJ	CAP II COMMENTS	
4	8-10-00	BJ	SITE DEVELOPMENT ADDED	
3	4-4-00	MPS	REVISED ALTA SURVEY	
2	3-10-00	MPS	CURB CUTS, STRAIGHT S. ENTRY	
1	11-20-02	MPS	REV. BUILD. SIZE TO 112' X 130'	

REVISIONS

CERTIFICATION AND SEAL

I, GEORGE RAINHART, ARCHITECT, CERTIFY THAT THE DESIGN AND CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN IS IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE ARCHITECTURAL PROFESSION.

PROJECT NAME
WALGREENS STORE
NWC OF REEMS ROAD AND WADDELL ROAD
SURPRISE PLANNING COMMENTS

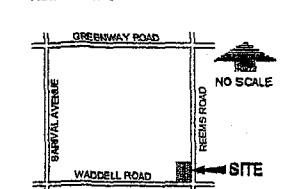
GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 684-8110 FAX (505) 837-9877

DRAWING TITLE
SITE PLAN

DATE	4/10/2001	STORE NO		DRAWING NO.	
DRAWN BY	MPS	SCALE	1"=40'-0"		
REVIEWED BY		RELEASED TO CONSTRUCTION			

A1.0A

VICINITY MAP



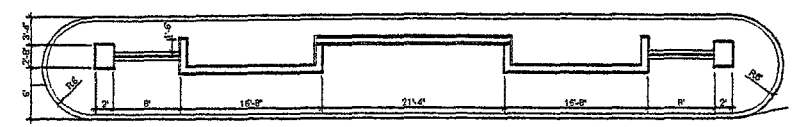
KEYED NOTES:

1. COMPACTOR LOCATION - PAD AND ENCLOSURE TO CURRENT CITY OF SURPRISE REQUIREMENTS
2. YELLOW PAINTED ARROW
3. WALGREENS MONUMENT SIGN 12" H WITH 36 SF FACE BASE MIN 6"
4. NEW LANDSCAPE BUFFERS/ISLANDS
5. BICYCLE RACK LOCATION - 4 BIKES
6. STRIPING, YELLOW, 4" WIDE (TYPICAL)
7. HANDICAPPED SPACE WITH PAINTED SYMBOL AND SIGN PER CITY OF SURPRISE REQUIREMENTS
8. STANDARD ASPHALT PAVING FOR CAR TRAFFIC. SEE GEOTECHNICAL REPORT
9. 2-LANE PHARMACY DRIVE-THRU
10. HC RAMP PER ADA STANDARDS. RED STAINED CONCRETE
11. STRIPED HANDICAP ACCESS AISLE
12. HEAVY DUTY ASPHALT PAVING FOR TRUCK TRAFFIC. SEE GEOTECHNICAL REPORT
13. YELLOW PAINTED ARROW AND 24" HIGH LETTERS
14. TRANSFORMER LOCATION
15. LOADING PAD
16. CONCEPTUAL FUTURE PHASE LINE
17. LIGHT POLE LOCATION. TOP OF FIXTURE 16' ABOVE GRADE
18. WALL MOUNTED SITE LIGHT. BOTTOM OF FIXTURE 20' ABOVE GRADE
19. 6" HIGH MASONRY SCREEN WALL
20. FIRE HYDRANT. SEE CIVIL. TYPICAL
21. ELEVATED DRIVE WITH PEDESTRIAN GUARDRAILS
22. 3 FT LANDSCAPE STRIP
23. 3 FT SAND/GRASS STRIP SCREEN WALL

RADIUS INFORMATION:

- | | |
|--------------------|---------------------|
| 1. RADIUS = 7'-0" | 11. RADIUS = 25'-0" |
| 2. RADIUS = 3'-0" | 12. RADIUS = 30'-0" |
| 3. RADIUS = 5'-0" | 13. RADIUS = 40'-0" |
| 4. RADIUS = 10'-0" | 14. RADIUS = 50'-0" |
| 5. RADIUS = 15'-0" | 15. RADIUS = 75'-0" |
| 6. RADIUS = 20'-0" | 16. RADIUS = 4'-0" |

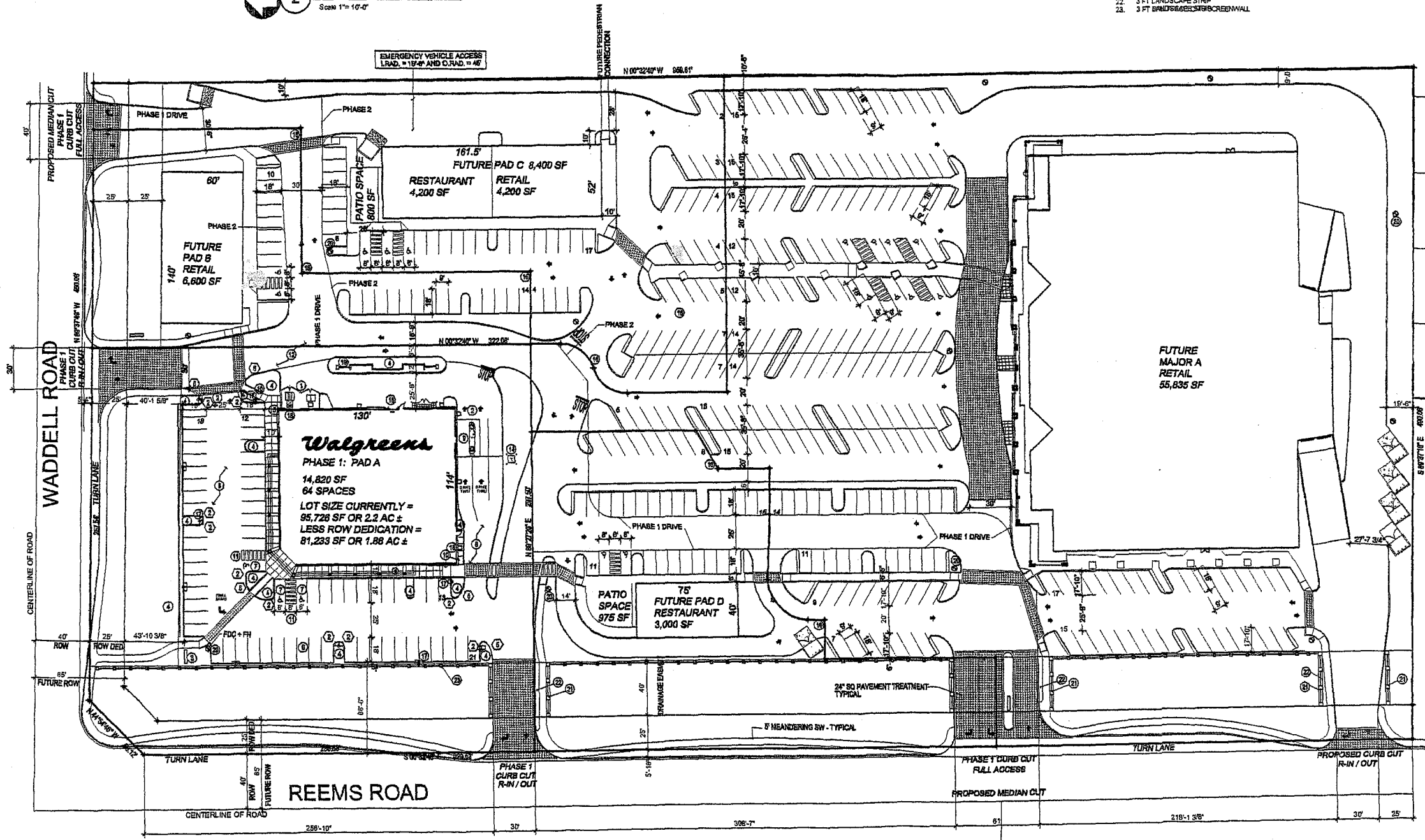
Elevation from West



Plan

Screen Wall Detail

Scale 1"=10'-0"



1 Site Plan

Scale 1"=40'-0"

DEVELOPER
CAP XXX
2325 SAN PEDRO, NE
ALBUQUERQUE, NM 87110
505-684-3578

11	02-17-04	BJ	CITY TAC COMMENTS
10	12-30-03	BJ	CORRECT CAR COUNTS
9	12-17-03	BJ	CITY COMMENTS

- REVISION #11 2-17-04
1. CHANGE WEST AISLE OF MAJOR A PARKING TO ANGLED PARKING.
2. UPDATE CAR COUNT DUE TO #1 TO 6 CARS LESS.
3. ADJUST ISLANDS SW AND NW OF WALGREENS PER CITY TRAFFIC COMMENTS.
4. ADD WALGREENS LOADING AREA SCREEN WALL DETAILS.
- REVISION #10 12-30-03
1. CORRECT CAR COUNTS FOR PAD C, PAD D, AND MAJOR A.
2. INDICATE EMERGENCY VEHICLE ACCESSIBILITY ROUTES WITH SHADING.

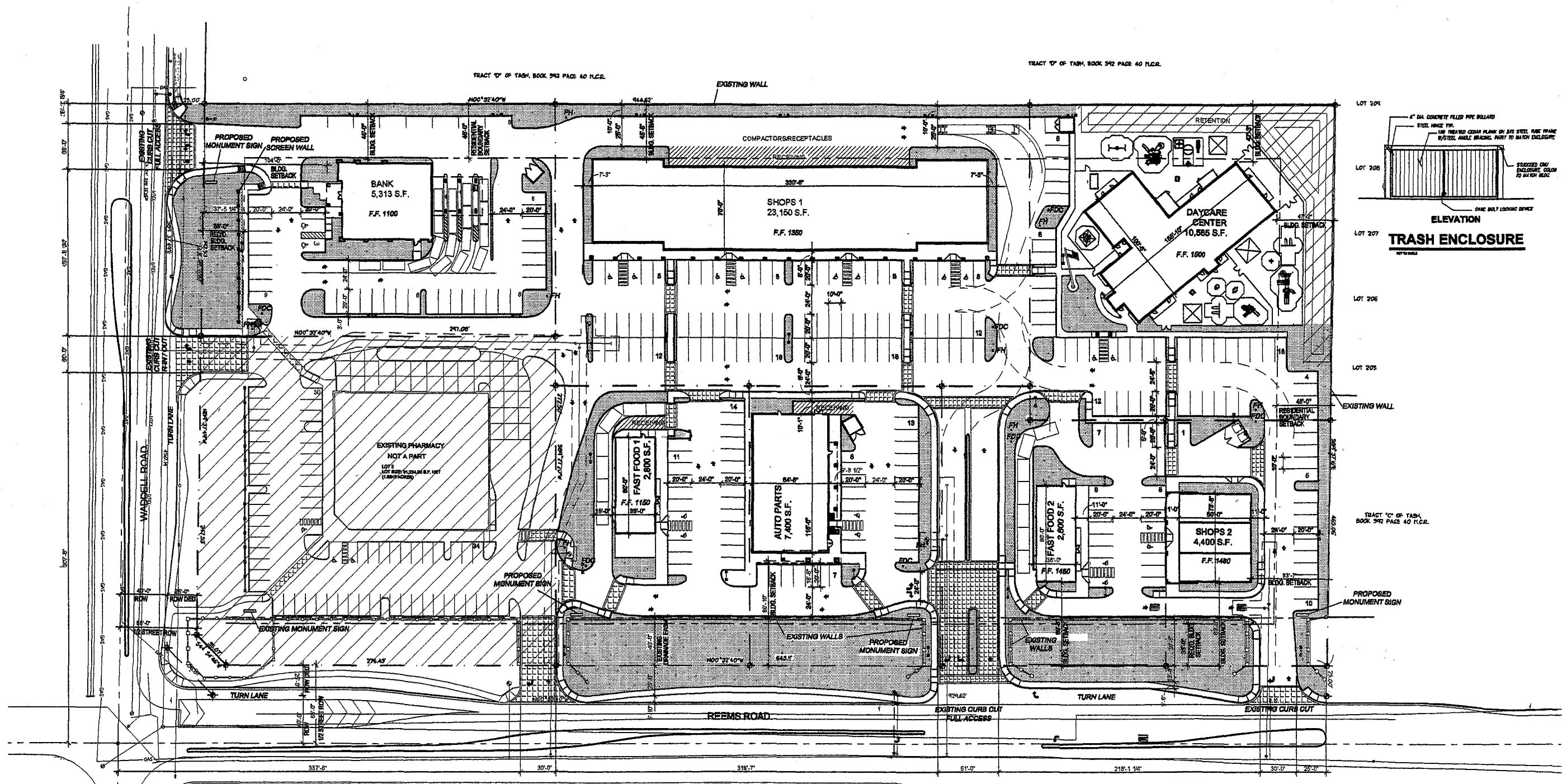
REVISION #9 12-17-03

APPROVED SITE PLAN

Waddell Square Shopping Center

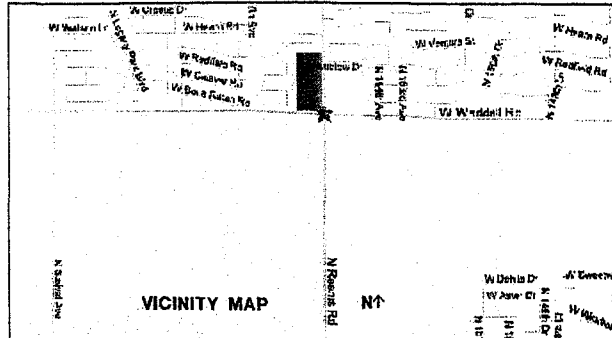
A Proposed Site Plan Amendment at the Northwest Corner of Reems Road & Waddell Road

EXHIBIT B – PROPOSED SITE PLAN



- ORNAMENTAL PAVEMENT TREATMENT
- LANDSCAPING AREA
- LOADING ZONE
- FH FIRE HYDRANT
- FDC FIRE DEPT. CONNECTION
- POLE MOUNTED LIGHT

ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE



PROJECT INFORMATION
LOCATION: DEVELOPMENT IS LOCATED AT THE NORTHWEST CORNER REEMS ROAD AND WADDELL ROAD

LEGAL DESCRIPTION:
 LOT 1, WADDELL SQUARE, A PORTION OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST, OF THE OILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

OWNER:
 CAP XXX - REEMS / WADDELL LLC
 2325 SAN PEDRO NE, SUITE 2A
 ALBUQUERQUE, NM 87110

PARCEL DATA

BANK PAD
 Lot size: 56,894 sf or 1.3061 acres +/-

SHOPS 1
 Lot size: 92,362 sf or 2.1203 acres +/-

DAYCARE CENTER
 Lot size: 65,798 sf or 1.5105 acres +/-

FAST FOOD 1
 Lot size: 37,584 sf or 0.8628 acres +/-

RETAIL AUTO PARTS
 Lot size: 37,120 sf or 0.8522 acres +/-

SHOPS 2
 Lot size: 34,244 sf or 0.7861 acres +/-

FAST FOOD 2
 Lot size: 33,682 sf or 0.7732 acres +/-

Total 357,888 sq. ft. or 8.21 acres +/-

Building only site coverage:
 56,428 sq. ft. or 15.78%

Building and hardscape coverage:
 272,031 sq. ft. or 78.1%

Landscape site coverage:
 85,655 sq. ft. or 23.9%

PARKING DATA

BANK PAD
 Required: 5,313 sf x 0.9 / 250 = 20 spaces req'd (1 ADA)
 Provided: 41 provided (2 ADA)

SHOPS 1
 Required: 23,150 sf x 0.9 / 250 = 84 spaces req'd (8 ADA)
 Provided: 86 provided (8 ADA)

SHOPS 2
 Required: 4,400 sf x 0.9 / 250 = 16 spaces req'd (1 ADA)
 Provided: 18 provided (2 ADA)

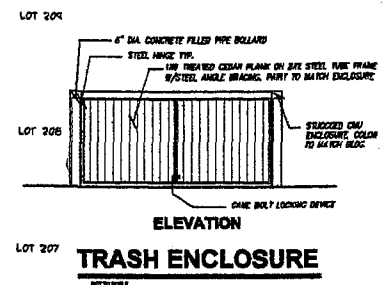
FAST FOOD 1
 Required: 4,400 sf indoor public / 50 = 20 spaces req'd (1 ADA)
 Provided: 25 provided (2 ADA)

FAST FOOD 2
 Required: 1,000 sf indoor public / 50 = 20 spaces req'd (1 ADA)
 Provided: 20 provided (2 ADA)

RETAIL AUTO PARTS
 Required: 7,400 sf x 0.9 / 250 = 27 spaces req'd (1 ADA)
 Provided: 28 provided (2 ADA)

DAY CARE
 Required: 10,565 sf x 0.9 / 200 = 48 spaces req'd (1 ADA)
 Provided: 48 spaces provided (2 ADA)

Total Required: 236 spaces (14 ADA) Total Provided: 268 (20 ADA)



REVISION

REV	DATE	BY	REVISION
1	02.18.06	JS	TAC RESUBMITTAL
2	02.18.06	JS	TAC RESUBMITTAL
3	02.18.06	JS	TAC RESUBMITTAL
4	02.18.06	JS	TAC RESUBMITTAL
5	02.18.06	JS	TAC RESUBMITTAL

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
 WADDELL SQUARE
 1000 REEMS ROAD AND WADDELL ROAD,
 SURPRISE, ARIZONA

PROJECT MANAGER
 Jonathan Stein

DATE:
 02.18.06

SCALE:
 1"=40'

REGISTERED ARCHITECT
 80810
 GEORGE RAINHART
 ARIZONA, U.S.A.

DRWING BY:
 AC

SHEET NO.:
 0000

MASTER SITE PLAN

SHEET TITLE

DATE:
 02.18.06

SCALE:
 1"=40'

A1.1

Waddell Square Shopping Center

A Proposed Site Plan Amendment at the Northwest Corner of Reems Road & Waddell Road

EXHIBIT C – APPROVED WALGREENS ELEVATIONS

Walgreens

FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD
708-848-2000
DEERFIELD, IL 60015

PROJECT TYPE

DRAWINGS SPECIFICATIONS BY:
☐ WALGREENS' CONSULTANT
☒ LANDLORD'S CONSULTANT

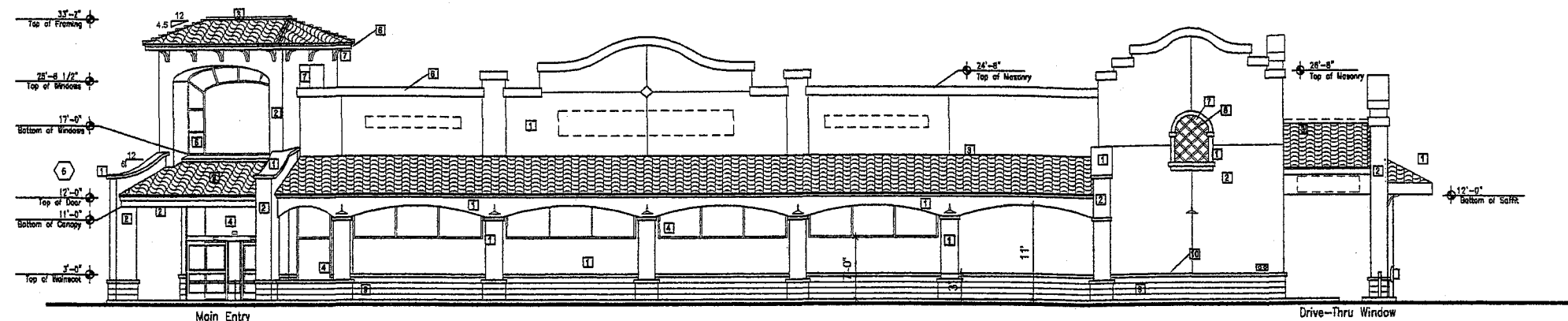
ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:
☐ WALGREENS' CONTRACTOR
☒ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE

BUILDING

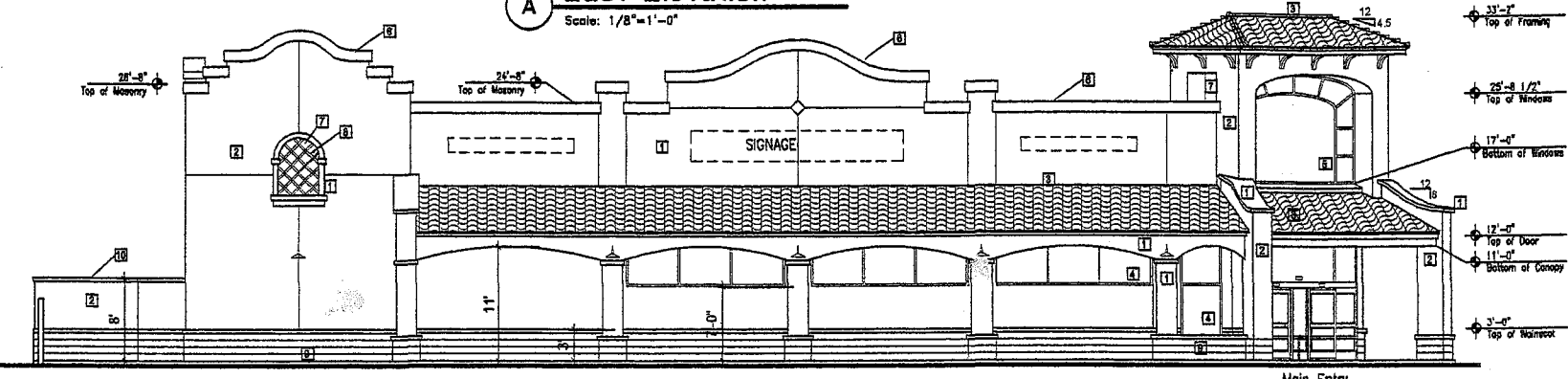
NEW	<input checked="" type="checkbox"/>	NEW	<input checked="" type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		

PROJECT INFORMATION



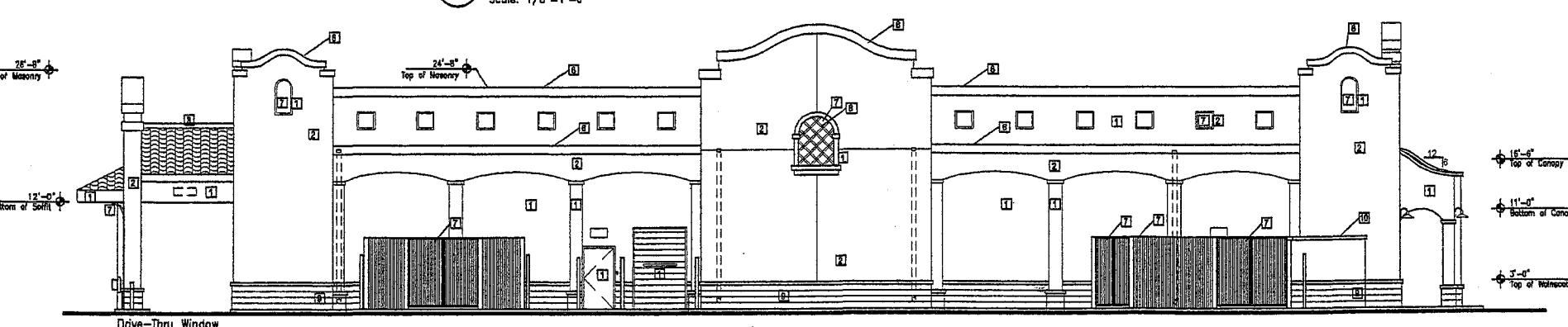
A East Elevation

Scale: 1/8"=1'-0"



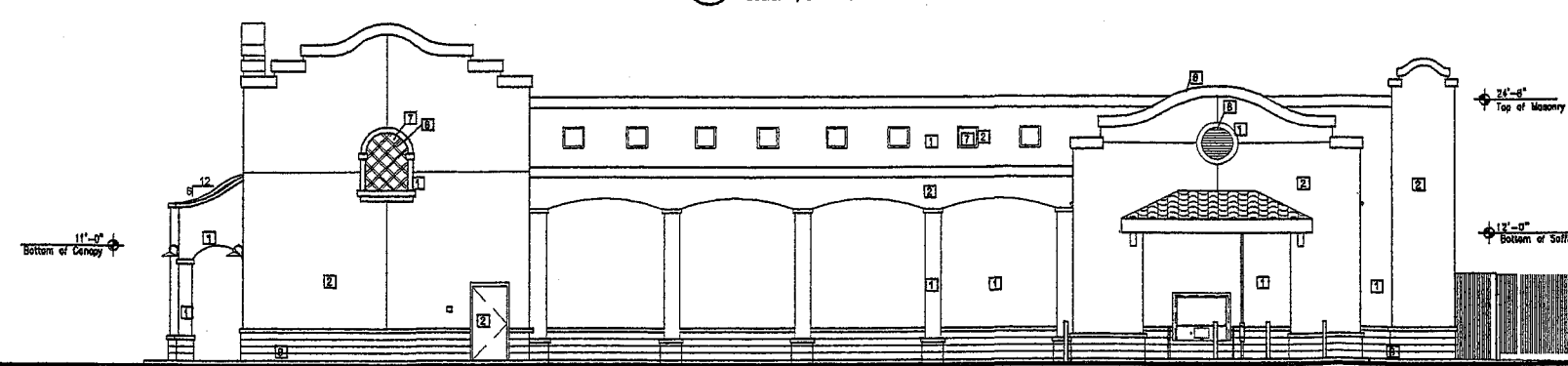
B South Elevation

Scale: 1/8"=1'-0"



C West Elevation

Scale: 1/8"=1'-0"



D North Elevation

Scale: 1/8"=1'-0"

BUILDING MATERIALS PALETTE

LOCATION	COLOR
1 PRIMARY STUCCO	MATCH SW2421 "NIMBUS WHITE"
2 ACCENT STUCCO	MATCH SW2157 "NOMAD"
3 ROOF	MONIER MISSION "S" SYLE "PINTO BLEND" 1MSS5 0989
4 GLASS	1" INSUL. TINTED, LOW E GLASS W/ CLEAR ANODIZED FRAMES
5 GLASS	1/4" CLEAR W/ CLEAR ANODIZED FRAMES
6 PARAPET CAP	MATCH SW2155 "GEDRGETOWN"
7 ACCENT COLOR	MATCH SW0001 "MULBERRY SILK"
8 ACCENT METAL	MATCH SW2086 "GATEWAY GRAY"
9 WAINSCOT BLOCK	SPLIT FACE INTEGRAL COLOR RINKER "PLAIN SCORIA"
10 BLOCK CAP	INTEGRAL COLOR RINKER "PETRO BLACK"

NO	DATE	BY	DESCRIPTION	CONST.
1	12/03/03	BJ	REVISE ENTRY + ADD BUMPOUTS PER CITY	
2	02/16/04	BJ	REVISE ELEVATIONS PER CITY	

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS FOR THIS PROJECT WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A duly Licensed Architect in the State of Arizona AS SIGNIFIED BY MY HAND AND SEAL.

PROJECT NAME
WALGREENS STORE
(NWC) REIMS + WADDELL
SURPRISE, ARIZONA

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877
www.gra-arch.com

DRAWING TITLE

ELEVATIONS

DATE	3/4/03	STORE NO.	07933	DRAWING NO.	
DRAWN BY	BJ	SCALE	1/8"=1'-0"		
REVIEWED BY		RELEASED TO CONSTRUCTION			

A2.1

OF DWG.

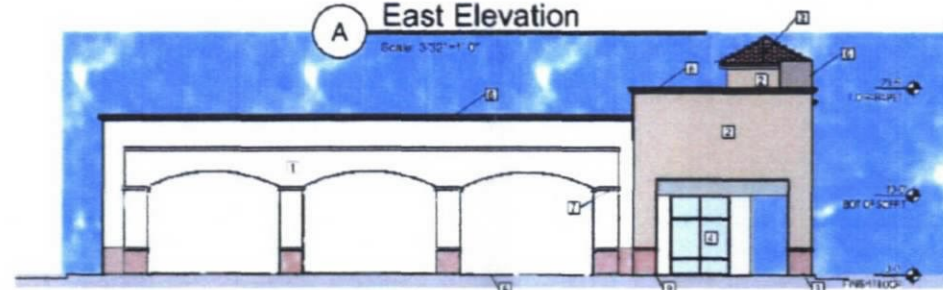
Waddell Square Shopping Center

A Proposed Site Plan Amendment at the Northwest Corner of Reems Road & Waddell Road

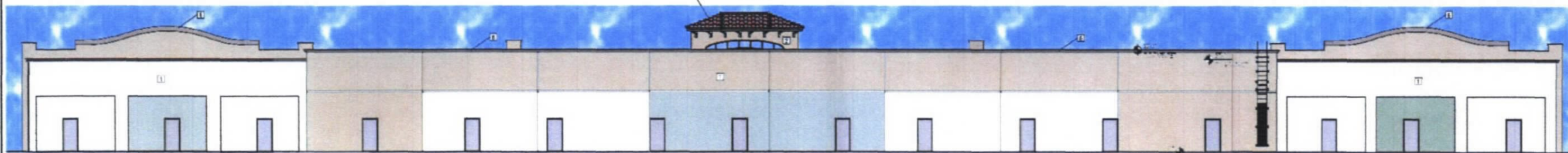
EXHIBIT D – CONCEPTUAL SHOPS ELEVATIONS



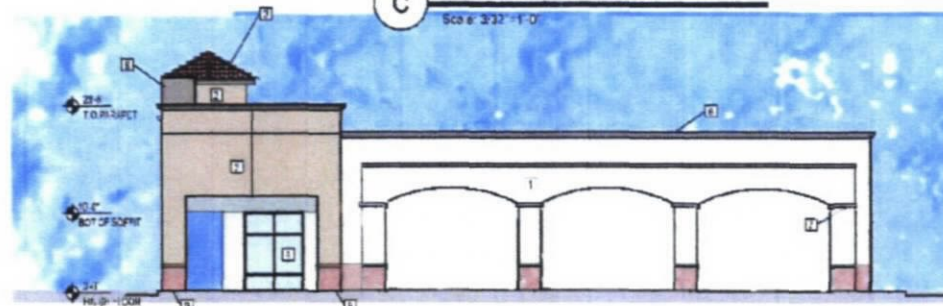
A East Elevation
Scale: 3/32"=1'-0"



B South Elevation
Scale: 3/32"=1'-0"



C West Elevation
Scale: 3/32"=1'-0"



D North Elevation
Scale: 3/32"=1'-0"

BUILDING MATERIALS PALETTE

LOCATION	COLOR
1. INTERIOR & EXTERIOR	MATCH SW5003 "NICE WHITE"
2. FLOORS & ROOF	MATCH SW5044 "DOESKIN"
3. ROOF	EAGLE "CAPSTRAND" STYLE #3314 MOJAVE SHADOWS
4. GLASS	1/2" INSUL. TINTED, LOW E GLASS W/ CLR ANODIZED FRAMES
5. GLASS	1/4" CLEAR W/ CLEAR ANODIZED FRAMES
6. PARAPET CAP	MATCH SW5045 "EMERSON TAUPÉ"
7. ACCENT COLOR	MATCH SW5001 "MILBERRY SILK"
8. "KIDNEY" METAL	MATCH SW5011 "CHAI ROOM"
9. CHANGING ROOM	SP-UT FACE INTEGRAL COLOR RINKER "PLAIN SCORIA"
10. BLOCK DWP	INTEGRAL COLOR RINKER "PETRO BLACK"

REVISION

BY

DATE

REV

DATE

BY

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BY

DATE

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT: WADDEL SQUARE - SHOPS 1
WAC BEANS ROAD AND MAGDOLE ROAD
SUNRISE, AZ
PROJECT MANAGER: JON STEIN
DATE: 1.27.06

SCALE: AS NOTED

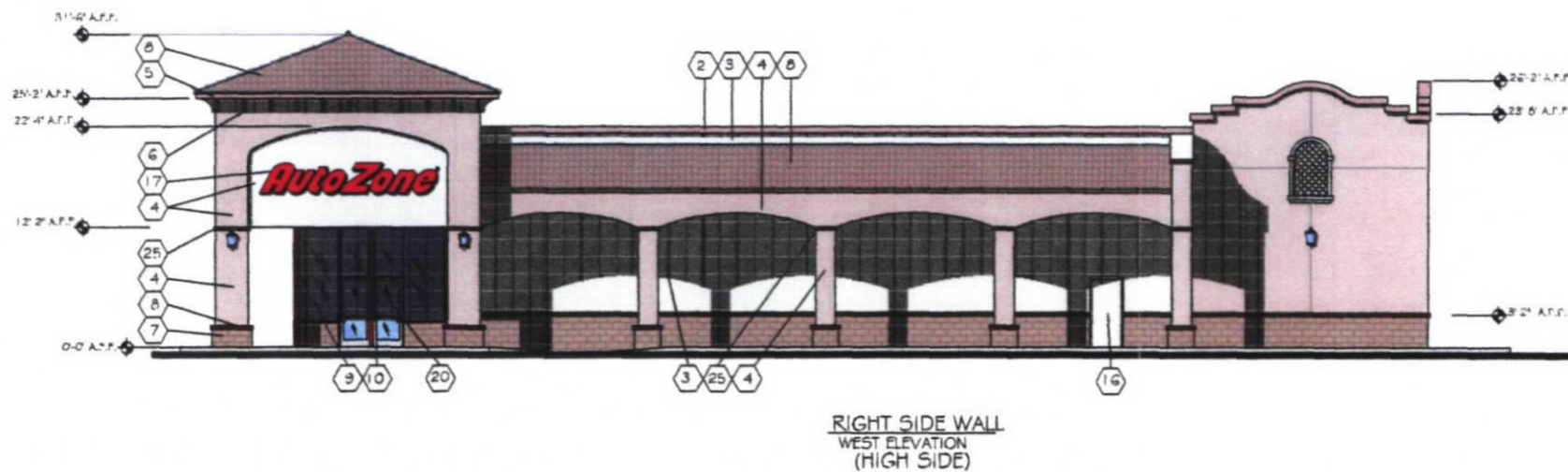
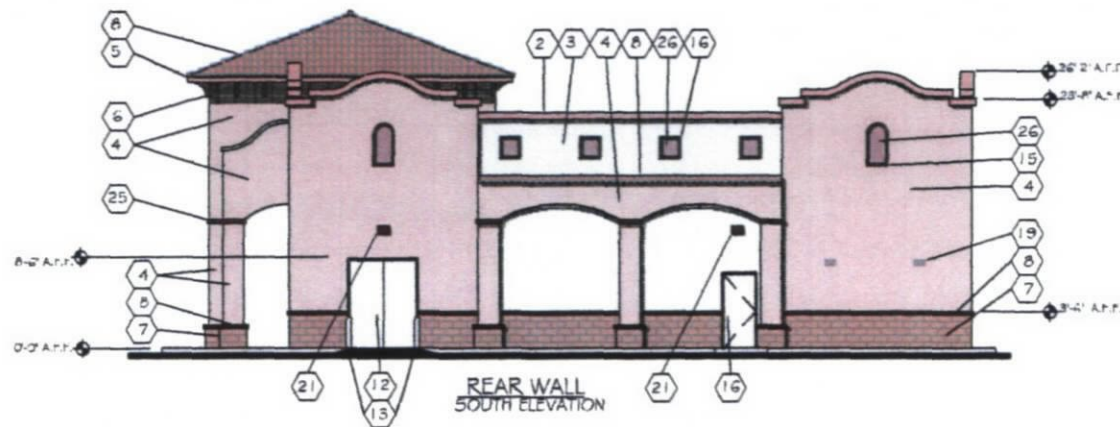
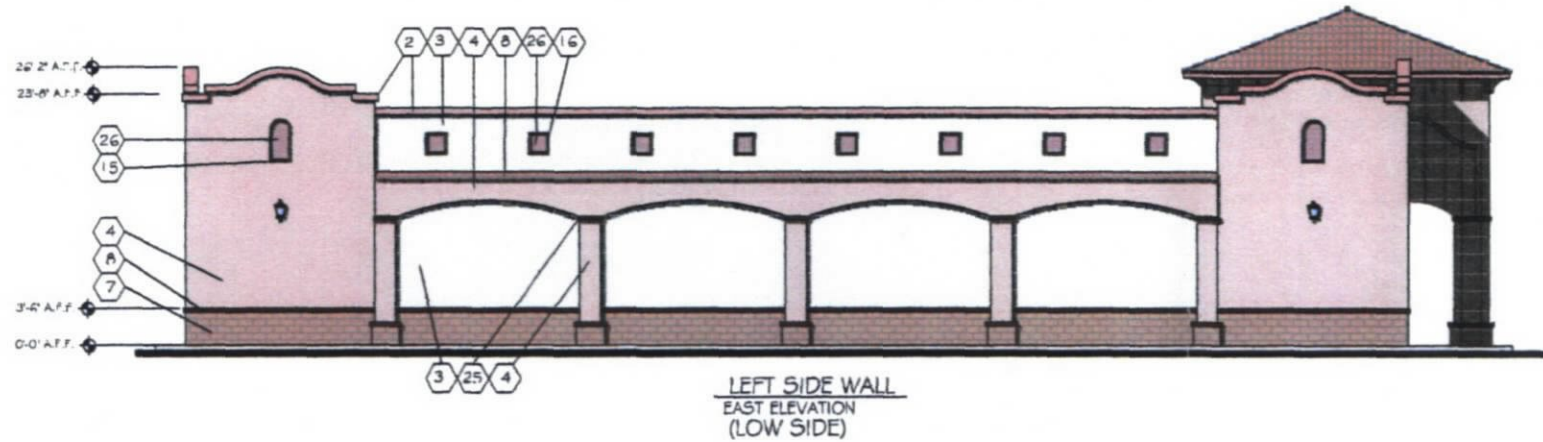
CONCEPTUAL ELEVATIONS

A1

Waddell Square Shopping Center

A Proposed Site Plan Amendment at the Northwest Corner of Reems Road & Waddell Road

EXHIBIT E – CONCEPTUAL AUTO PARTS STORE ELEVATIONS



- 1 ALUMINUM COPING COLOR: SW 2155
- 2 CORNICE - STUCCO FINISH - SW 2155
- 3 STUCCO FINISH - COLOR: SW 2421
- 4 STUCCO FINISH - COLOR: SW 2157
- 5 STUCCO FINISH - COLOR: SW 2155
- 6 WOOD CORNICE SUPPORTS - PT. SW 0001
- 7 INTEGRAL COLOR SPLITFACE BLOCK - RINKER 'PLAIN SCORIA'
- 8 INTEGRAL COLOR CAP BLOCK - RINKER 'PETRO BLACK'
- 9 MONIER MISSION 'S' STYLE PINTO BLEND ROOF TILE
- 10 STORE FRONT SYSTEM - RED KYNAR FINISH
- 11 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 12 PAINT HOLLOW METAL DOORS AND FRAMES - SW2421
- 13 PAINT HOLLOW METAL DOORS AND FRAMES - SW 2157
- 14 6" STEEL BOLLARDS - PT. SW 2086
- 15 2 X 2 WELDED STEEL GRILL - PAINT SW 2086
- 16 FOAM TRIM WITH STUCCO FINISH - COLOR SW 2421
- 17 FOAM TRIM WITH STUCCO FINISH - COLOR SW 2157
- 18 WALL SIGN - 42" HIGH CHANNEL LETTERS - RED FACES
- 19 TOILET WALL VENTS PAINT TO MATCH WALL
- 20 STORE ADDRESS - 12" NUMBERS ON CONTRASTING BACKGROUND
- 21 WALL PAK LIGHT
- 22 DECORATIVE WALL LIGHT
- 23 1" V GROOVE SCORE JOINT
- 24 NOTE RTJ'S SCREENED BY BUILDING PARAPETS
- 25 FOAM TRIM WITH STUCCO FINISH - COLOR SW 0001
- 26 STUCCO FINISH - COLOR SW 0001

ELEVATION KEY NOTES

PAINT NUMBERS AND COLOR NAMES LISTED BELOW REFER TO SHERWIN WILLIAMS PAINTS

- SW 2421 - NIMBUS WHITE
- SW 2157 - NOMAD
- SW 2155 - GEORGETOWN
- SW 0001 - MULBERRY SILK
- SW 2086 - GATEWAY GRAY

AutoZone, Inc.
123 South Front Street
Memphis, Tennessee 38103
TEL: (901) 495-8424

Prepared **AutoZone** STORE DEVELOPMENT
For: Store No. 3390
REEMS AND WADDEL
SURPRISE

AZ 85379

EXTERIOR ELEVATIONS & NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1.		
2.		
3.		
4.		

SCALE: AS NOTED

DATE
06-28-06

PROTOTYPE SIZE
7N2-LEFT

A2

Waddell Square Shopping Center

A Proposed Site Plan Amendment at the Northwest Corner of Reems Road & Waddell Road

EXHIBIT F – CONCEPTUAL GRADING PLAN

NOTES:

THE MAXIMUM PAVEMENT SLOPE IN HANDICAPPED PARKING SPACES TO BE 2% IN ALL DIRECTIONS.

THE MAXIMUM LONGITUDINAL SLOPE IN HANDICAPPED ACCESS AREAS: 5%.

THE MAXIMUM CROSS SLOPE IN HANDICAPPED ACCESS AREAS: 2%.

FINISH FLOOR CERTIFICATION

I CERTIFY THAT ALL FINISHED FLOOR ELEVATIONS ARE FREE FROM INUNDATION BY THE 100-YEAR PEAK RUNOFF EVENT AS INDICATED IN CHAPTER 6, SECTION 803.6 OF THE DRAINAGE REGULATIONS FOR MARICOPA COUNTY.

RETENTION VOLUME REQUIRED:

RETENTION VOLUME FOR THE SITE: 100% OF THE 100-YEAR, 2-HOUR STORM EVENT IN ACCORDANCE WITH THE CITY OF SURPRISE REQUIREMENTS.

SITE AREA: 364,873 S.F.

$$V_R = C \times (D/2) \times A$$

C = 0.95
D = 2.8 in.
A = 364,873 S.F.

$$V_R = 0.95 \times (2.8/2) \times 364,873 \text{ S.F.} = 80,882 \text{ C.F.}$$

RETENTION VOLUME PROVIDED:

$$V_P = 82,284 \text{ C.F.}$$

LEGAL DESCRIPTION:

THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 7 TOWNSHIP 3 NORTH RANGE 1 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST QUARTER OF SAID SECTION 7 SAID POINT BEING A 1" IRON PIPE FOUND AT THE CENTERLINE INTERSECTION OF WADDELL ROAD AND REEMS ROAD;

THENCE NORTH 89 DEGREES 37 MINUTES 48 SECONDS WEST ALONG AND WITH THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 7, 530.07 FEET;

THENCE NORTH 00 DEGREES 32 MINUTES 40 SECONDS WEST ALONG AND WITH A LINE PARALLEL TO THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 7, 65.04 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF WADDELL ROAD AND THE TRUE POINT OF BEGINNING;

THENCE CONTINUING NORTH 00 DEGREES 32 MINUTES 40 SECONDS WEST ALONG AND WITH SAID PARALLEL LINE, 869.62 FEET;

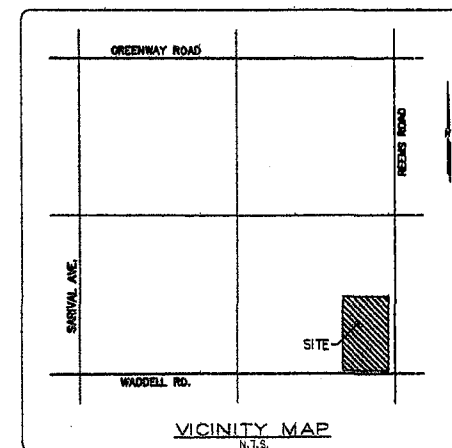
THENCE SOUTH 89 DEGREES 37 MINUTES 16 SECONDS EAST ALONG AND WITH A LINE PARALLEL WITH THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 7, 465.06 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF REEMS ROAD;

THENCE SOUTH 00 DEGREES 32 MINUTES 40 SECONDS EAST ALONG AND WITH SAID WEST RIGHT OF WAY LINE OF REEMS ROAD, 643.16 FEET;

THENCE SOUTH 89 DEGREES 27 MINUTES 20 SECONDS WEST 272.60 FEET;

THENCE SOUTH 00 DEGREES 32 MINUTES 40 SECONDS EAST TO A POINT ON THE NORTH RIGHT OF WAY LINE OF WADDELL ROAD, 297.08 FEET;

THENCE NORTH 89 DEGREES 37 MINUTES 48 SECONDS WEST ALONG NORTH RIGHT OF WAY LINE OF WADDELL ROAD, 192.93 FEET TO THE TRUE POINT OF BEGINNING.



FLOOD ZONE DESIGNATION

ZONE "X" (AREAS OF 500-YEAR FLOOD) PER COMMUNITY PANEL NO. 04013C1585H, DATED SEPTEMBER 30, 2005.

ZONE "A" (NO BASE FLOOD ELEVATION DETERMINED) PER COMMUNITY PANEL NO. 04013C1585H, DATED SEPTEMBER 30, 2005.

BENCHMARK

MCDOT BRASS CAP IN HAND HOLE LOCATED AT THE INTERSECTION OF BELL ROAD AND REEMS ROAD.
ELEVATION = 1247.88, CITY OF SURPRISE DATUM (NAVD '88)

LEGEND

- PROPERTY LINE
- CENTER LINE
- EASEMENT LINE
- 8" DIA. UNDERGROUND RETENTION STORAGE PIPE
- VALLEY GUTTER
- P.P. POWER POLE
- W.V. WATER VALVE
- F.H. FIRE HYDRANT
- W.M. WATER METER
- S.C. SEWER CLEANOUT
- S.D.M. STORM DRAIN MANHOLE
- S. SIGN
- S.L. STREET LIGHT
- D.F.A. DRAINAGE FLOW ARROW
- T.C. TOP OF CURB
- G. GUTTER
- P. PAVEMENT
- V.G. VALLEY GUTTER
- C.B.G. CATCH BASIN GRATE
- G.B. GRADE BREAK
- P.O. PROPOSED ORYWELL
- F.D.C. FIRE DEPT. CONNECTION

OWNER:

PETERSON PROPERTIES
2325 SAN PEDRO NE, SUITE 2A
ALBUQUERQUE, NM 87110
CONTACT: DEAN SMITH
PHONE: (505) 864-3578
FAX: (505) 864-6783

CIVIL ENGINEER:

SITE CONSULTANTS, Inc.
113 SOUTH ROCKFORD DRIVE
TEMPE, ARIZONA 85281
CONTACT: MICHAEL CAYLOR, P.E.
PHONE: (480) 894-2820
FAX: (480) 894-2847

ARCHITECT:

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
CONTACT: JON STERN
PHONE: (505) 884-9110
FAX: (505) 837-9877

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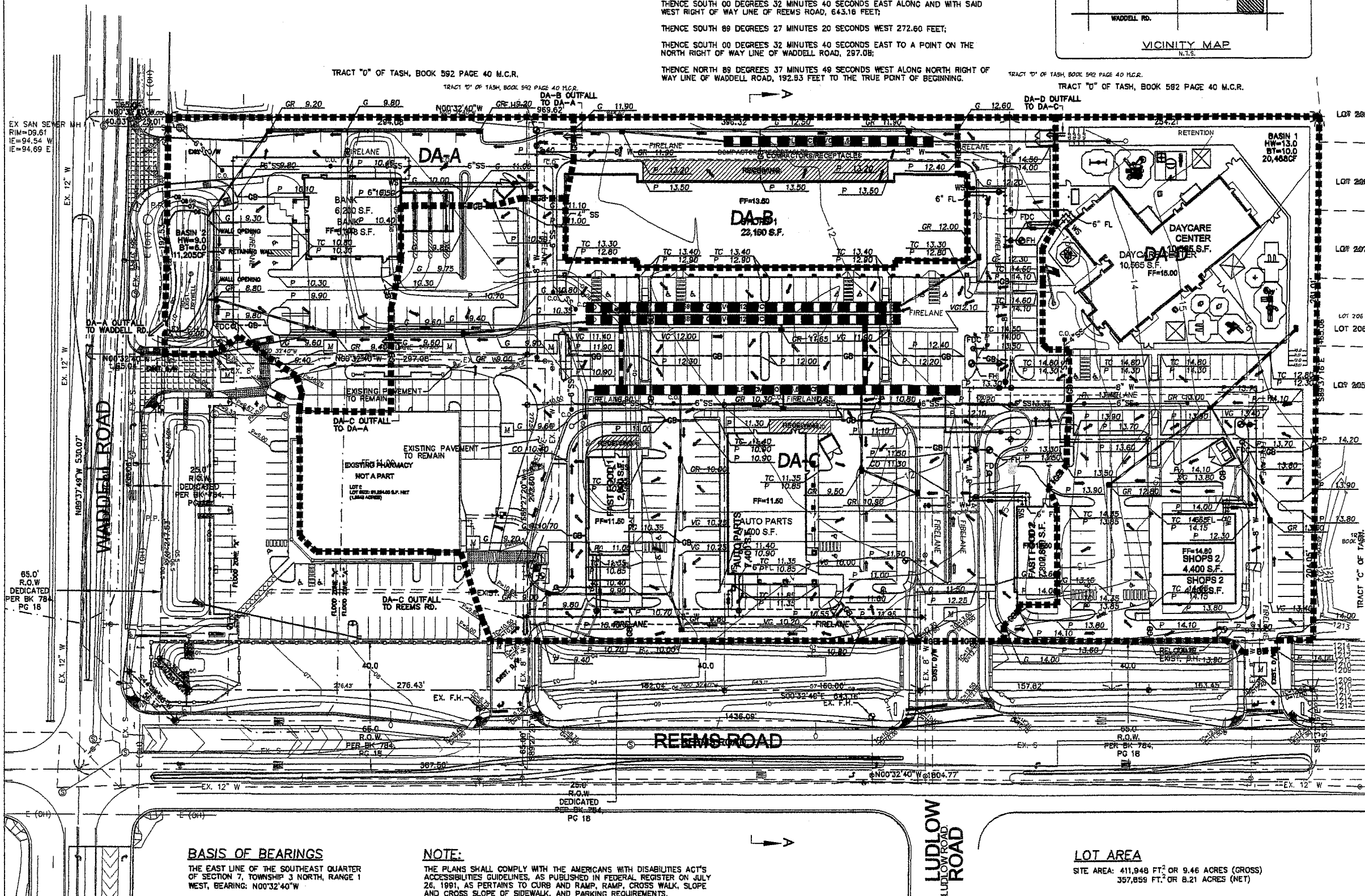
Site Consultants, Inc.
ENGINEERS - SURVEYORS - CONSULTANTS
113 SOUTH ROCKFORD DRIVE, TEMPE, ARIZONA 85281
TEL: (480) 894-2820, FAX: (480) 894-2847

PRELIMINARY GRADING PLAN
WADDELL SQUARE
NW CORNER OF WADDELL AND REEMS
SURPRISE, AZ



PROJECT NO:	1645
SCALE:	1"=40'
DRAWN BY:	TJP
CHECKED BY:	MJC
DATE:	06-03-06
DWG:	1645-PDF-3

1
OF
3



BASIS OF BEARINGS

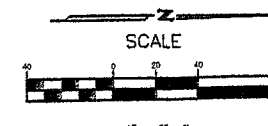
THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST, BEARING: N00°32'40"W

NOTE:

THE PLANS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT'S ACCESSIBILITY GUIDELINES, AS PUBLISHED IN FEDERAL REGISTER ON JULY 26, 1991, AS PERTAINS TO CURB AND RAMP, RAMP, CROSS WALK, SLOPE AND CROSS SLOPE OF SIDEWALK, AND PARKING REQUIREMENTS.

LOT AREA

SITE AREA: 411,948 FT² OR 9.46 ACRES (GROSS)
397,859 FT² OR 9.21 ACRES (NET)



Waddell Square Shopping Center

A Proposed Site Plan Amendment at the Northwest Corner of Reems Road & Waddell Road

EXHIBIT G – CONCEPTUAL LANDSCAPE PLAN

PRELIMINARY PLANT LIST

COMMON NAME	BOTANICAL NAME
Trees	
Desert Museum Palo Verde	Cercidium floridum
Sissoo	Dahlbergia sissoo
Evergreen Elm	Ulmus parvifolia
Willow Acacia	Acacia salicina
Phoenix Mesquite	Prosopis hybrid
Shrubs	
Jojoba	Simmondsia chinensis
Desert Ruella	Ruellia peninsularis
Outback Cassia	Senna oligophylla
Valentine Bush	Erimophila 'valentine'
Turpentine Bush	Ericameria laevis
Bush Morning Glory	Convolvulus cneorum
Ruellia 'katie'	Ruellia brittoniana 'katie'
New Gold Lantana	Lantana camara 'new gold'
Purple Lantana	Lantana montevidensis
Red Yucca	Hesperaloe parviflora
Twin-Flowered Agave	Agave geminiflora
Heavenly Cloud Texas Sage	Leucophyllum frutescens
Desert Carpet	Acacia redolens
Red Bird of Paradise	Caesalpinia pulcherrima
Hopseed Bush	Dodonaea viscosa

Existing landscape along Waddell Street frontage consists of the following plant material:

- Sissoo Tree
- Evergreen Elm
- Blue Palo Verde
- Jojoba
- New Gold Lantana
- Purple Lantana
- Desert Ruella
- Red Yucca
- Bush Morning Glory

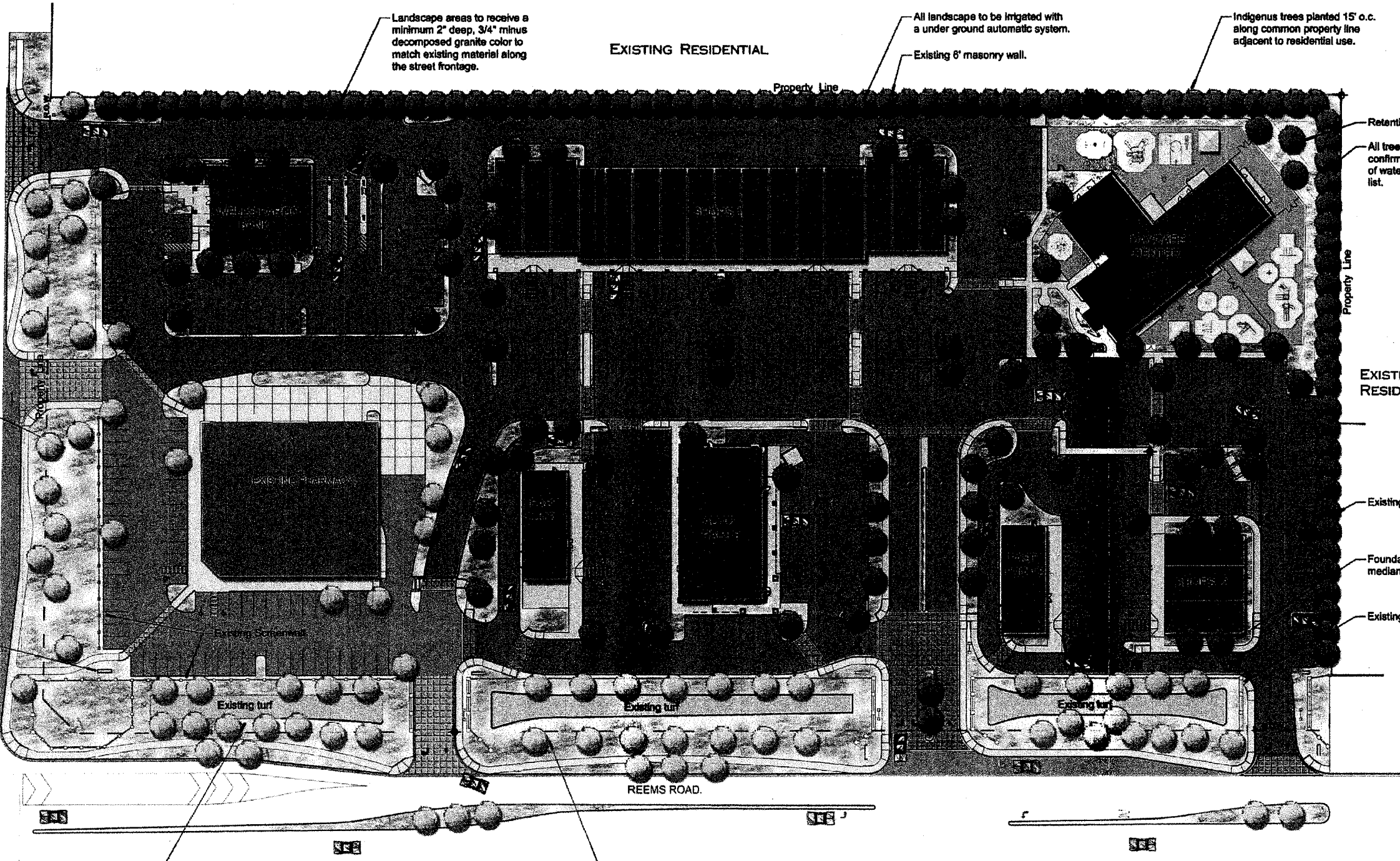
PRELIMINARY LANDSCAPE PLAN
WADDELL SQUARE
NWC REEMS RD. AND WADDELL RD.
SURPRISE, ARIZONA
PREPARED FOR: CAP XXX - REEMS/WADDELL LLC.

LANDSCAPE DATA

- PARCEL AREA
TOTAL: 8.21 AC. +/- 357,686 SQ. FT.
- PARKING LOT
TOTAL REQUIRED: 236 SPACES (14 ADA)
TOTAL PROVIDED: 270 SPACES (20 ADA)
- LANDSCAPE AREA
REQUIRED: (15%) 1.23 AC OR 53,644 SQ. FT.
PROVIDED: (23.9%) 1.96 AC OR 85,655 SQ. FT.
(15% OF NET AREA REQUIRED TO BE LANDSCAPED)

Existing landscape along Reems Road frontage and the Waigreens consists of the following plant material:

- Blue Palo Verde
- Desert Museum Palo Verde
- Sissoo Tree
- Evergreen Elm
- Jojoba
- New Gold Lantana
- Purple Lantana
- Desert Ruella
- Ruella 'katie'
- Bush Morning Glory
- Pink Fairy Duster
- Turf



Retention area.

All trees and plant material shall confirm to the Arizona Department of water resources low water plant list.

EXISTING RESIDENTIAL

Existing 6' masonry wall.

Foundation planting with evergreen median height shrubs.

Existing retaining wall.

North
Scale: 1"=40'-0"
Date: 26 July 2006

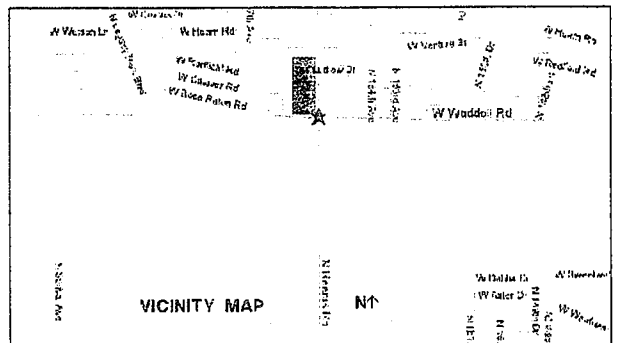
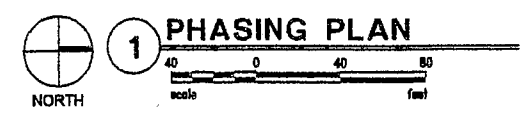
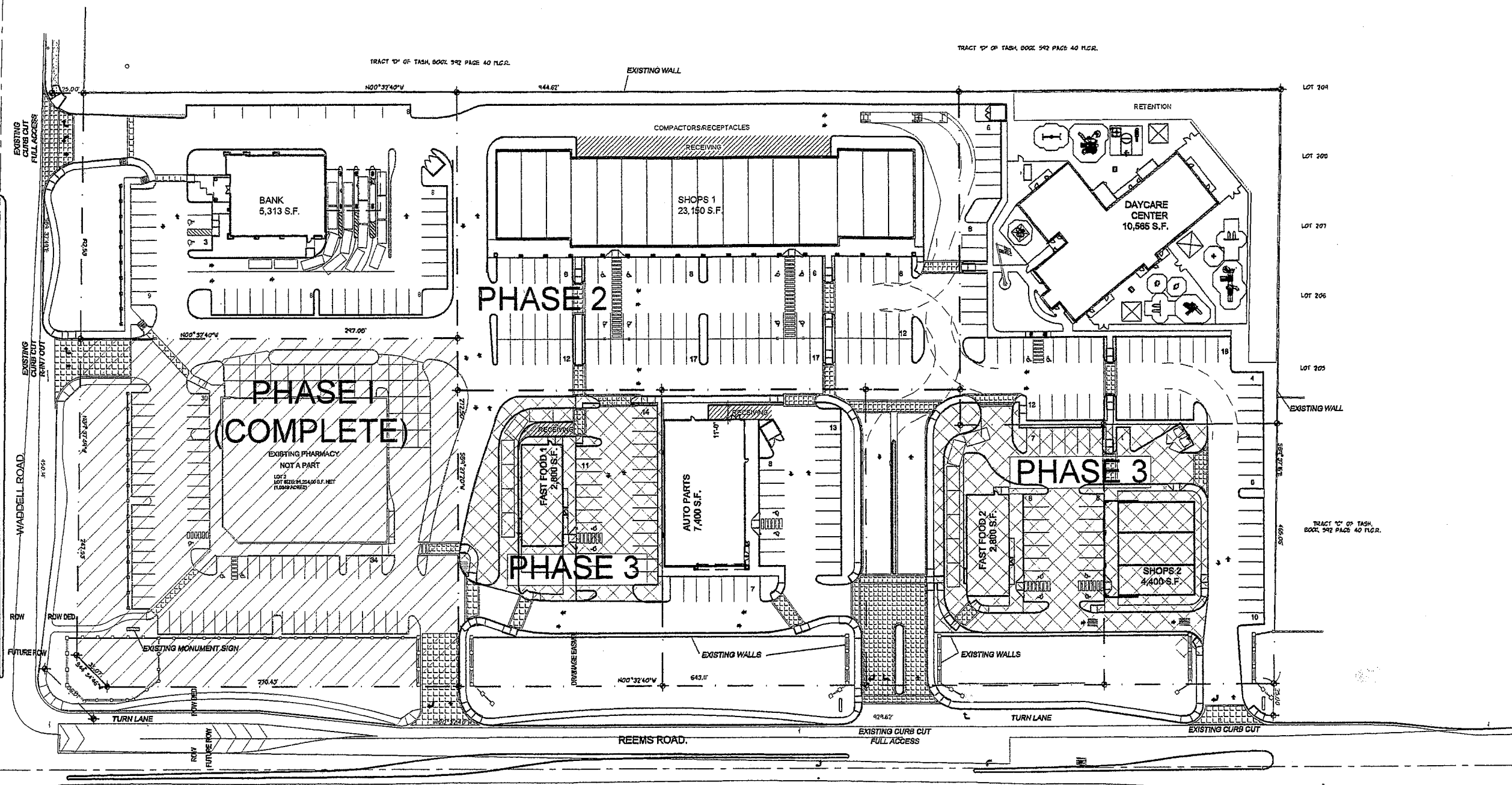


vollmer & ASSOCIATES

Waddell Square Shopping Center

A Proposed Site Plan Amendment at the Northwest Corner of Reems Road & Waddell Road

EXHIBIT H – PHASING PLAN



PROJECT INFORMATION
LOCATION: DEVELOPMENT IS LOCATED AT THE NORTHWEST CORNER REEMS ROAD AND WADDELL ROAD
LEGAL DESCRIPTION: LOT 1, WADDELL SQUARE, A PORTION OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA
OWNER: CAP XXX - REEMS / WADDELL LLC
 2325 SAN PEDRO NE, SUITE 2A
 ALBUQUERQUE, NM 87110

PARCEL DATA
BANK PAD
 Lot size: 56,884 sf or 1.3061 acres +/-
SHOPS 1
 Lot size: 92,382 sf or 2.1203 acres +/-
DAYCARE CENTER
 Lot size: 65,799 sf or 1.5105 acres +/-
FAST FOOD 1
 Lot size: 37,584 sf or 0.8628 acres +/-
RETAIL AUTO PARTS
 Lot size: 37,120 sf or 0.8522 acres +/-
SHOPS 2
 Lot size: 34,244 sf or 0.7861 acres +/-
FAST FOOD 2
 Lot size: 33,682 sf or 0.7732 acres +/-
 Total 8.21 acres +/-

PARKING DATA
BANK PAD
 Required: 5,313 sf x 0.9 / 250 = 20 spaces req'd (1 ADA)
 Provided: 41 provided (2 ADA)
SHOPS 1
 Required: 23,150 sf x 0.9 / 250 = 84 spaces req'd (8 ADA)
 Provided: 86 provided (8 ADA)
SHOPS 2
 Required: 4,400 sf x 0.9 / 250 = 16 spaces req'd (1 ADA)
 Provided: 18 provided (2 ADA)
FAST FOOD 1
 Required: 1,000 sf indoor public / 50 = 20 spaces req'd (1 ADA)
 Provided: 25 provided (2 ADA)
FAST FOOD 2
 Required: 1,000 sf indoor public / 50 = 20 spaces req'd (1 ADA)
 Provided: 20 provided (2 ADA)
RETAIL AUTO PARTS
 Required: 7,400 sf x 0.9 / 250 = 27 spaces req'd (1 ADA)
 Provided: 28 provided (2 ADA)
DAY CARE
 Required: 10,565 sf x 0.9 / 200 = 48 spaces req'd (1 ADA)
 Provided: 48 spaces provided (2 ADA)

Total Required: 236 spaces (14 ADA) Total Provided: 286 (20 ADA)

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION
1	03.15.05	JS	PRE-APP MASTER SITE PLAN AMENDMENT

PROJECT TITLE
 WADDELL SQUARE
 HWY REEMS ROAD AND WADDELL ROAD,
 SURPRISE, ARIZONA

PROJECT MANAGER
 Jonathan Dizon

DATE
 02.18.05

SCALE
 1"=40'

DESIGNED BY
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PROJECT MANAGER
 Jonathan Dizon

DATE
 02.18.05

SCALE
 1"=40'

MASTER SITE PLAN

Sheet: **A1.1** of 1

REPORT TO THE PLANNING AND ZONING COMMISSION

CASE NUMBER: GPA06-340

(Major Amendment)

PREPARED BY: Janice See, Sr. Planner @ 623.875.4309

Planning & Zoning Commission 1st Hearing Date:

October 4, 2006

Planning & Zoning Commission 2nd Hearing Date:

November 21, 2006

City Council Hearing Date:

December 14, 2006

APPLICANT:

Community Development Director

REQUEST:

Public Hearing discussion on GPA06-340, a request for a major amendment to the Surprise General Plan 2020. This public hearing will serve as the first of two required public hearings before the Planning and Zoning Commission. No formal action shall be rendered on the application at this first public hearing.

RECOMMENDATION:

Staff recommends that the Planning and Zoning Commission hold a public hearing on GPA06-340, Major Amendment to the General Plan.

BACKGROUND:

The proposed 2006 update represents a year of staff work focused on employing long standing and proven planning principles to develop a growth management plan that can respond to the many growth issues facing the city. The proposed 2006 update is the first step in a series of growth management tools that are proposed in the next few years. In 2007, staff will present a comprehensive update that will further define the changes that are proposed in this 2006 update. Area and specific planning will play an important role in the 2007 update. Staff is also working on a development code rewrite that will be brought forth for review in 2007.

In 2006, staff focused on revisions that would provide a foundation to further work. RBF Consulting was hired to revise text language and graphics to reflect existing conditions and to aid in the rewrite process. Other revisions to the General Plan include the addition of a safety element as required by Arizona Revised Statutes for cities with populations over 50,000, the division of environment/water element into two separate elements to recognize the importance of water and water resource issues and environmental factors in their own purview, new land use classifications that focus on long-term community vision rather than individual project development, a new land use

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map that reflects the new classifications, and minimal updates to the classification and location of arterials on the transportation map to reflect existing or planned conditions.

PUBLIC COMMENT:

Agency review began on September 20, 2006 and will last until November 20, 2006. All written comments will be forwarded to the Planning and Zoning Commission with the staff report for the second public hearing.

The 2006 proposed update to the General Plan is a departure from past major plan amendments which were related to specific projects. Therefore, a number of different methods are being used to gather comments. Staff has held seven workshops with the Planning and Zoning Commission during the past year specifically related to the General Plan. Although these workshops are open to the public, attendance has been light. Nevertheless, the workshops represent an opportunity to gather information and provide comment. Opportunities to comment on General Plan issues have been available on the city website since July of 2006.

Public comment related specifically to the General Plan 2006 update document are being accommodated by holding a series of outreach meetings and the first public hearing early in the agency review process. To allow more choices for public comment, the first public hearing is not only being held at an alternative site as required by ARS, the meeting day is being held on a day of the week not normally scheduled for meetings to allow those who normally have other engagements the opportunity to attend. Community Development staff also have outreach meetings scheduled for Tuesday, September 26, 2006 at the City Hall Classroom and Wednesday, September 27, 2006 at Nadaburg School.

After early hearing of Planning and Zoning Commission and public comment on the proposed plan, staff will have adequate time to address any concerns before a second series of outreach meetings on October 30 and November 1 2006, and the second Planning and Zoning Commission public hearing on November 21, 2006.